

VISSER BROTHERS, INC

IRONWOOD MANUFACTURING

13960 IRONWOOD DR. NW, TALLMADGE TOWNSHIP MI 49544

ISSUED FOR: SITE PLAN REVIEW
DATE: JUNE 9th, 2022

LEGAL DESCRIPTION

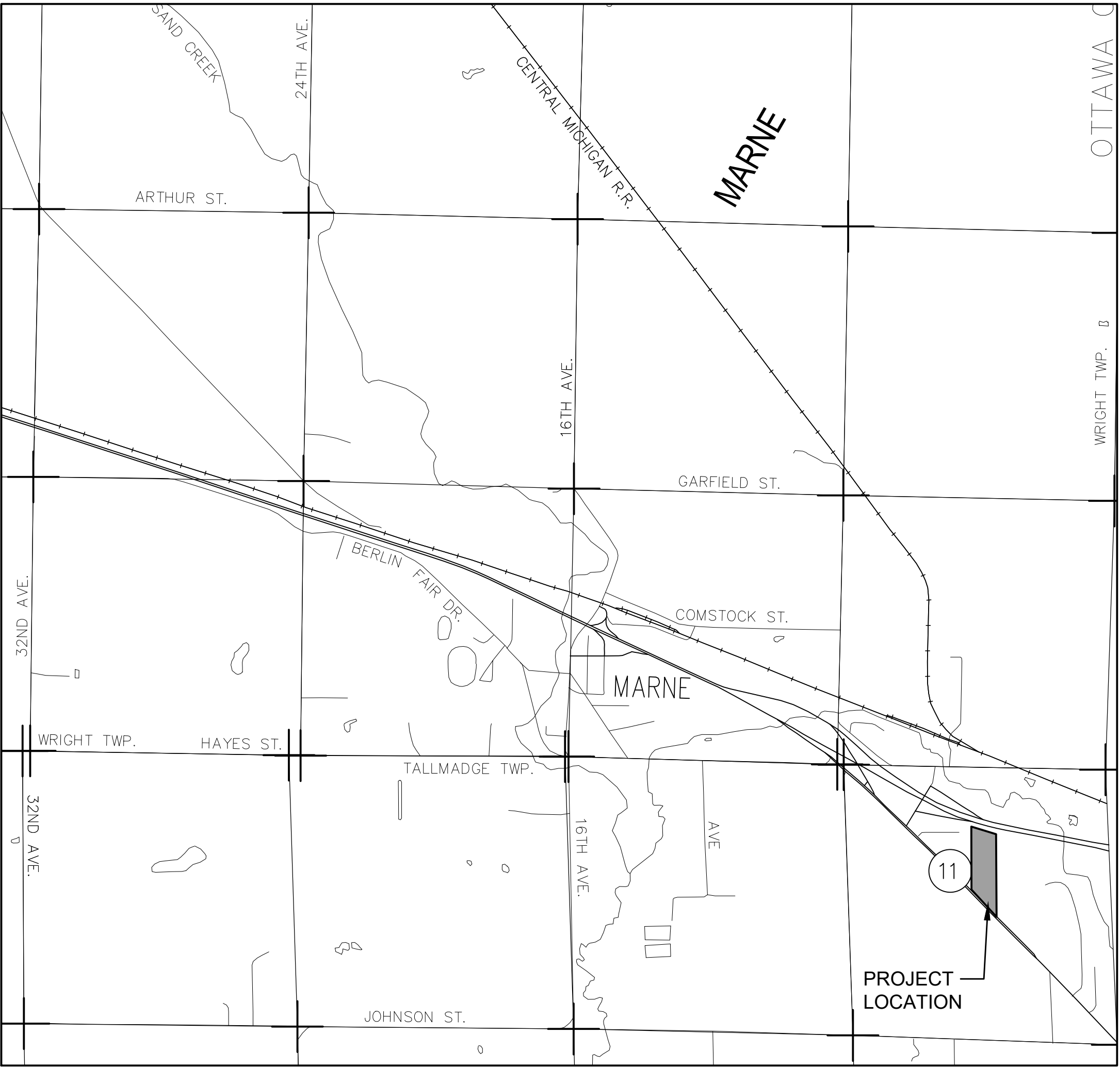
PART OF SE 1/4 OF NW 1/4 BEG 414.5 FT S OF NE COR THEREOF, TH CONT S ALG N&S 1/4 LI TO CEN LI OF IRONWOOD DR, NWLY ALG SD CEN LI 682 FT, TH NELY TO BEG, EXC COM N 1/4 COR, TH S 1810.09 FT TO PT OF BEG, TH CONT S 383.35 FT, S 47D 19M 14S W 198.68 FT, N 42D 40M 46S W 286.92 FT, TH N 47D 57M 26S E 458.58 FT TO BEG ALSO EXC COM N 1/4 COR, TH S 2193.44 FT TO PT OF BEG, TH S 47D 19M 14S W 198.68 FT, S 42D 40M 46S E 20 FT, N 47D 19M 14S E TO N&S 1/4 LI, TH N TO BEG, ALSO W 660 FT OF NE 1/4 LYING S OF I-96 & NELY OF IRONWOOD DR, SEC 1 T7N R13W

CONTACT INFORMATION

OWNER: DEG DEVELOPMENT CO
1946 TURNER AVE NW
GRAND RAPIDS, MI 49504

APPLICANT: PATRICK FATE
VISSER BROTHERS
1946 TURNER AVE NW
GRAND RAPIDS, MI 49504

PLANS PREPARED BY: PROGRESSIVE AE
1811 4 MILE ROAD NE
GRAND RAPIDS, MI 49525

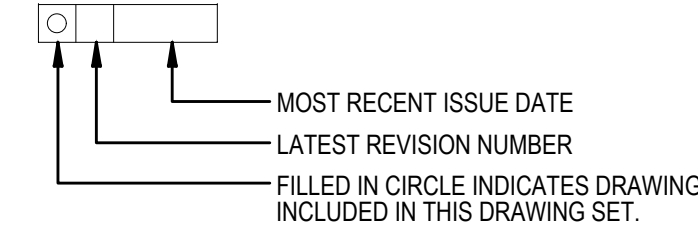


LOCATION MAP
NO SCALE

DRAWING INDEX

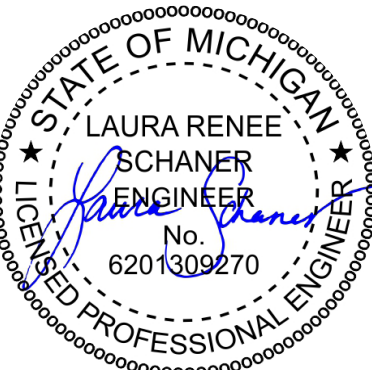
● - b6/09/22	G001	COVER SHEET
● - b6/09/22	C101	TOPOGRAPHIC SURVEY
● - b6/09/22	C201	SITE LAYOUT PLAN
● - b6/09/22	C301	SITE GRADING & UTILITY PLAN
● - b6/09/22	C501	DETAILS
● - b6/09/22	L101	TREE INVENTORY
● - b6/09/22	L201	LANDSCAPE PLAN
● - b6/09/22	L301	LANDSCAPE DETAILS
● - b6/09/22	ES001	SITE PHOTOMETRIC

DRAWING LIST LEGEND



CONTACTS & AGENCIES

KENT COUNTY ROAD COMMISSION 1500 SCRIBNER AVE. NW GRAND RAPIDS, MI 49504 (616) 336-2500	AT&T (TELEPHONE) ROOM 5 (PROJECTS N. OF FRANKLIN ST.) 2ND FLOOR (PROJECTS S. OF FRANKLIN ST.) 955 36TH ST. SE GRAND RAPIDS, MI 49508 (616) 246-7320	CENTURY TEL (FIBER OPTICS) 212 CYPRESS ST. WEST MONROE, LA 71291 (616) 776-3617
M.D.O.T. 1420 FRONT AVE. NW GRAND RAPIDS, MI 49504 (616) 451-3091	DTE ENERGY (NATURAL GAS) 4420 44TH ST., SUITE B GRAND RAPIDS, MI 49512 (616) 954-4575	CHOICEONE (FIBER OPTICS) 44 GRANDVILLE AVE. SW, STE. 400 GRAND RAPIDS, MI 49503 (616) 988-7100
GAINES TOWNSHIP 8555 KALAMAZOO AVE SE CALEDONIA TOWNSHIP, MI 49316 (616) 698-7980	XFINITY/COMCAST (CABLE TV) 955 CENTURY AVE. SW GRAND RAPIDS, MI 49503 (616) 977-2200 EXT: 3436	US SIGNAL COMPANY, LLC (FIBER OPTICS) 20 MONROE AVE. NW GRAND RAPIDS, MI 49503 (616) 988-7031
CONSUMERS ENERGY (ELECTRIC) 4000 CLAY AVE. GRAND RAPIDS, MI 49540 (616) 530-4347	VERIZON BUSINESS (FIBER OPTICS) 2855 OAK INDUSTRIAL DR. NE GRAND RAPIDS, MI 49505 (616) 224-4944	



This item has been electronically signed and sealed by Laura Renee Schaner using a Digital Signature and date. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

VISSER BROTHERS, INC.
IRONWOOD
MANUFACTURING

COA ARCHITECT COA ENGINEER

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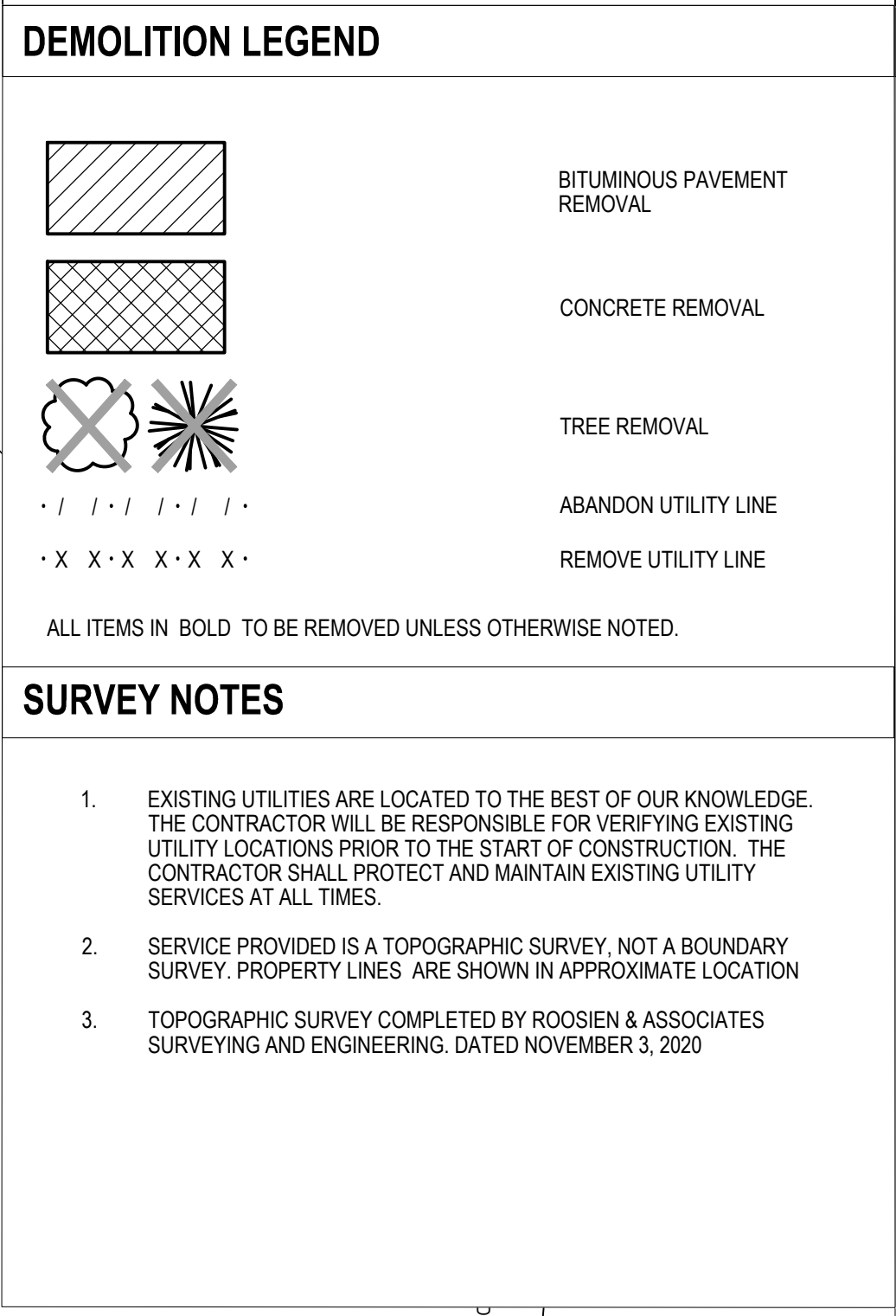
ISSUANCE
06/09/2022 SITE PLAN RESUBMITTAL

PROJECT NUMBER
7360011
PROJECT MANAGER
S. TEITSMA
PROFESSIONAL
L. SCHANER
DRAWN BY
D. WILLETT
CHECKED BY

COVER SHEET
G001

1811 4 Mile Rd NE | Grand Rapids, MI 49525 | (616) 361-2654
330 South Tyron St. Suite 501 | Charlotte, NC 28202 | (704) 731-6980 | www.progressiveae.com

13960 IRONWOOD DR NW, TALLMADGE TOWNSHIP, MI 49544



	MONUMENT
	PROPERTY IRON SET
	PROPERTY IRON FOUND
	TRAFFIC SIGNAL POLE
	BOLLARD LIGHT
	LIGHT POLE
	FLOOD LIGHT
	SIGN
	FLAG POLE
	CLEANOUT
	POWER POLE
	TELEPHONE POLE
	ELECTRICAL HAND HOLE
	TEL., ELEC., CATV, GAS, WATER RISER
	TEL., ELEC., GAS, WATER MANHOLE
	TEL., ELEC., CATV, GAS MARKER
	CATCH BASIN
	MANHOLE
	SPRINKLER
	VALVE & BOX
	HYDRANT
	SPOT ELEVATION
	MAJOR CONTOUR - 5 FT. INTERVAL
	MINOR CONTOUR - 1 FT. INTERVAL
	GUARD RAIL
	FENCE LINE
	STORM SEWER
	SANITARY SEWER
	WATERMAIN
	GAS MAIN
	UNDERGROUND TELEPHONE LINE
	UNDERGROUND FIBER OPTIC LINE
	UNDERGROUND ELECTRIC LINE
	DITCH CENTERLINE, TOE OF SLOPE
	DECIDUOUS TREE
	CONIFEROUS TREE
	TREE & BRUSH LINE
	BUILDING

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND BECOMING FAMILIAR WITH THE DEMOLITION AND CLEARING REQUIREMENTS.
2. NO REMOVAL, DEMOLITION, CLEARING OR TOPSOIL REMOVAL SHALL OCCUR ON SITE UNTIL THE SECC AND STORMWATER PERMITS HAVE BEEN ISSUED AND THE CONTRACTOR HAS VERIFIED AND STAKED THE LIMITS OF REMOVAL IN THE FIELD.
NOTIFY SITE CONSULTANT OF THE START OF CONSTRUCTION AND DATE WHEN THE LIMITS LINE WILL BE ESTABLISHED FOR REVIEW AND APPROVAL.
3. ALL MATERIALS NOTED TO BE SALVAGED SHALL BE TURNED OVER TO THE OWNER OR REINSTALLED ON SITE AS NOTED.
4. NO BURNING OR BURYING OF CLEARED OR DEMOLITION MATERIAL SHALL BE ALLOWED ON SITE.
5. REMOVE ALL STRUCTURES, FOUNDATIONS, BITUMINOUS PAVEMENT, CONCRETE SIDEWALK STEPS AND OTHER EXISTING SITE FEATURES AS INDICATED ON THE DRAWINGS. ALSO, REMOVE ALL DEBRIS FROM WITHIN CONSTRUCTION LIMITS ON SITE. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND, UNLESS OTHERWISE NOTED, DISPOSED OF IN A MANNER ACCEPTABLE TO LOCAL JURISDICTION HAVING AUTHORITY.
6. THE CONTRACTOR SHALL BE LICENSED BY THE STATE OF MICHIGAN FOR DEMOLITION REMOVAL AND HAULING OF MATERIALS.
7. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL PERMITS AND FEES FOR THIS WORK.
8. EXISTING UTILITIES ARE LOCATED TO THE BEST OF OUR KNOWLEDGE. THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING EXISTING UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN EXISTING UTILITY SERVICES AT ALL TIMES.
9. ALL EXCESS OR UNSUITABLE TOPSOIL OR SUBSOIL TO BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED OFFSITE.
10. PROTECT EXISTING TREES UNLESS OTHERWISE NOTED. NO PARKING OR STORAGE OF MATERIALS WITHIN TREE ROOT ZONE. PLACE TREE PROTECTION FENCE WHERE SHOWN ON PLAN.
11. CONTRACTOR TO CALL 811 AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES.
12. CONTRACTOR MUST RESTORE AND REPAIR ANY EXISTING CONDITIONS DISTURBED BY CONSTRUCTION.
13. ANY AREA DISTURBED BY CONSTRUCTION TO BE RESTORED TO CONDITION EQUAL TO OR BETTER THAN BEFORE CONSTRUCTION BEGAN. PATCH PAVEMENT IN-KIND IF REQUIRED.
14. SAWCUT FULL DEPTH ALL EDGES OF PAVEMENT TO BE REMOVED.
15. ALL GROUND AREAS DISTURBED BY CONSTRUCTION TO BE TOPSOILED AND SEEDED PER THE SITE LANDSCAPE PLAN UNLESS SHOWN OTHERWISE ON PLANS.

VISSER BROTHERS, INC.
IRONWOOD
MANUFACTURING

COA ARCHITECT COA ENGINEER

13960 IRONWOOD DR NW, TALLMADGE TOWNSHIP, MI 49544

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ISSUANCE
06/09/2022 SITE PLAN RESUBMITTAL

06/03/2022 OFFICE OF THE PRESIDENT OF THE UNITED STATES

PROJECT NUMBER
73680011

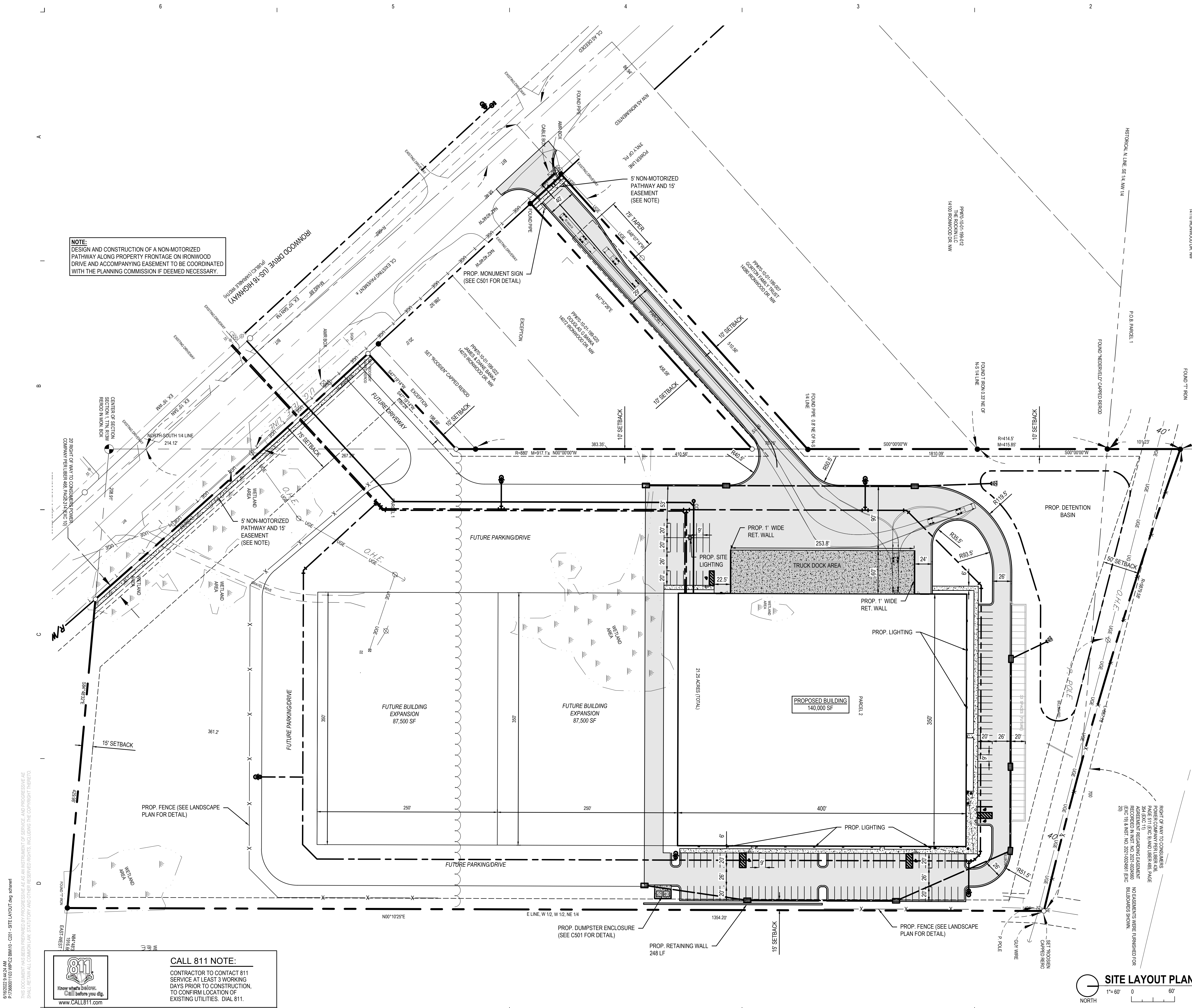
PROJECT MANAGER
S. TEITSMA

PROFESSIONAL
L. SCHANER

DRAWN BY
A. ZIEBELL

CHECKED BY

EXISTING
CONDITIONS
C101



ZONING NOTES

ZONE DISTRICT: INDUSTRIAL I-1
ADJACENT ZONING: SINGLE FAMILY RESIDENTIAL R-1 (EAST & SOUTH)
INDUSTRIAL I-1 (WEST)
RURAL PRESERVE RP (NORTH OF I-96)
21.25 ACRES (925,676 SF)

REQUIRED SETBACKS:
FRONT: 75 FEET
SIDE: 10 FEET (NEXT TO I-1)
SIDE: 15 FEET (NEXT TO R-1)
REAR: 50 FEET

PARKING SETBACK
FRONT: 10 FEET (FROM ROW)
SIDE: MAY BE PAVED TO PROPERTY LINE

PARKING REQUIRED: 135 SPACES
1 UNIT X 5 SPACES/INDIVIDUAL UNIT (FOR INDUSTRIAL)
130 EMPLOYEES X 1 SPACE PER EMPLOYEE

PARKING PROVIDED:
STANDARD (9'X20') 144
BARRIER FREE 5
TOTAL SPACES: 149

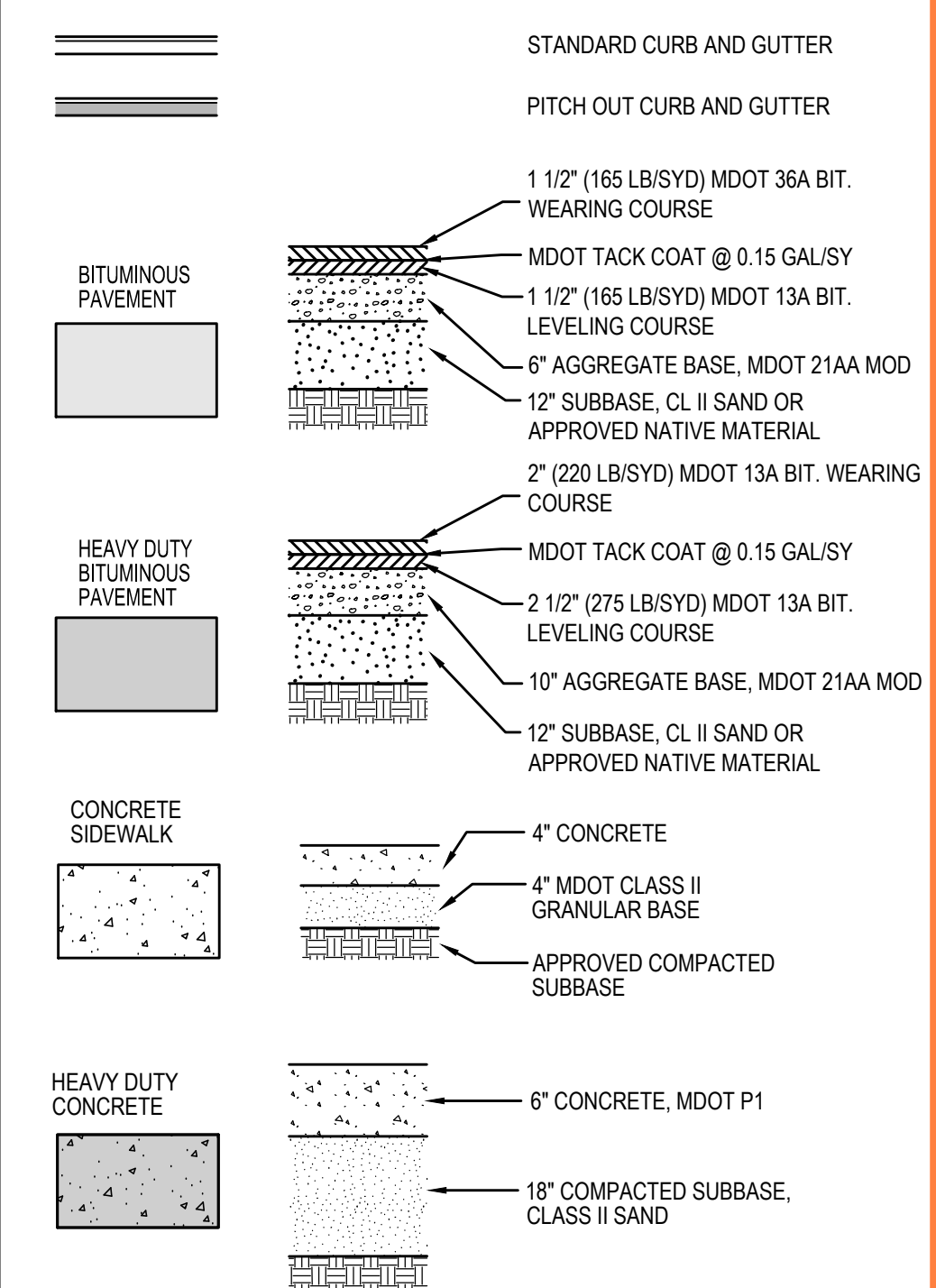
GENERAL NOTES

1. VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
2. PROTECT AND MAINTAIN CROSSINGS OF OTHER UTILITIES.
3. ALL MATERIAL SPECIFICATIONS AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH ALL APPLICABLE MUNICIPAL AGENCIES.
4. RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO MATCH AT A MINIMUM EXISTING CONDITIONS.
5. CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREAS SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
6. WORK WITHIN WETLANDS TO BE COMPLETED ACCORDING TO MDEQ PERMIT NUMBER _____ ISSUED _____. (IN PROGRESS)

GENERAL SITE LAYOUT NOTES

1. ALL WORKMANSHIP AND MATERIALS SHALL BE ACCORDING TO THE CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION (M.D.O.T.) STANDARD SPECIFICATIONS FOR CONSTRUCTION.
2. CONTACT "MISS DIG" TOLL FREE AT 1-800-482-7171 THREE (3) DAYS PRIOR TO THE START OF CONSTRUCTION, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS.
3. NO DIMENSION MAY BE SCALED. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.
4. DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED AS B-B (BACK TO BACK) OR E-E (EDGE OF METAL TO EDGE OF METAL).
5. CONTRACTOR TO PAINT STRIPE ALL PARKING SPACES SHOWN. PAINT COLOR TO BE YELLOW.
6. UPON REQUEST, ELECTRONIC INFORMATION WILL BE PROVIDED FOR SITE LAYOUT PURPOSES. CONTRACTOR SHALL REQUEST ALL INFORMATION IN WRITING THROUGH PROGRESSIVE AE. LAYOUT OF ALL NEW CONSTRUCTION SHALL BE DONE BY A LICENSED SURVEYOR.
7. ALL CONCRETE JOINTS SHALL BE TOOLED PER SPECIFICATIONS.
8. CONTRACTOR MUST RESTORE AND REPAIR ANY EXISTING CONDITIONS DISTURBED BY CONSTRUCTION. THIS IS TO INCLUDE BURIED UTILITIES, LIGHTING, LANDSCAPING, SPRINKLING, ETC.
9. ANY AREA DISTURBED BY CONSTRUCTION TO BE RESTORED TO CONDITION EQUAL TO OR BETTER THAN BEFORE CONSTRUCTION BEGAN.
10. ALL PAVEMENT, CURB & GUTTER, SIDEWALK AND UTILITIES WITHIN PUBLIC RIGHT OF WAY SHALL MEET TALLMADGE CHARTER TOWNSHIP STANDARDS.

PAVEMENT LEGEND



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ISSUANCE
06/09/2022 SITE PLAN RESUBMITTAL

PROJECT NUMBER
7360011
PROJECT MANAGER
S. TEITSMA
PROFESSIONAL
L. SCHANER
DRAWN BY
L. SCHANER
CHECKED BY

SITE LAYOUT PLAN C201

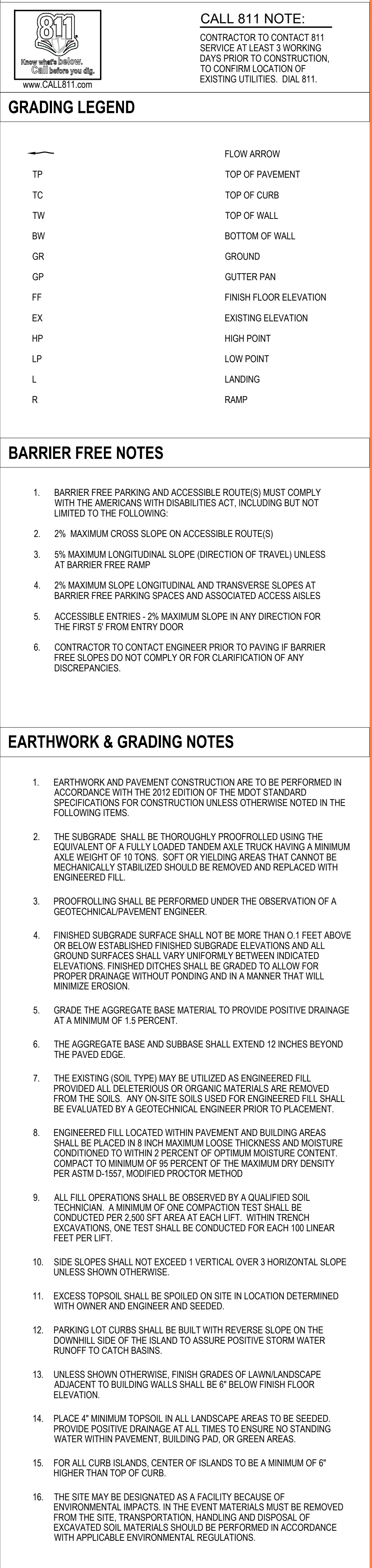
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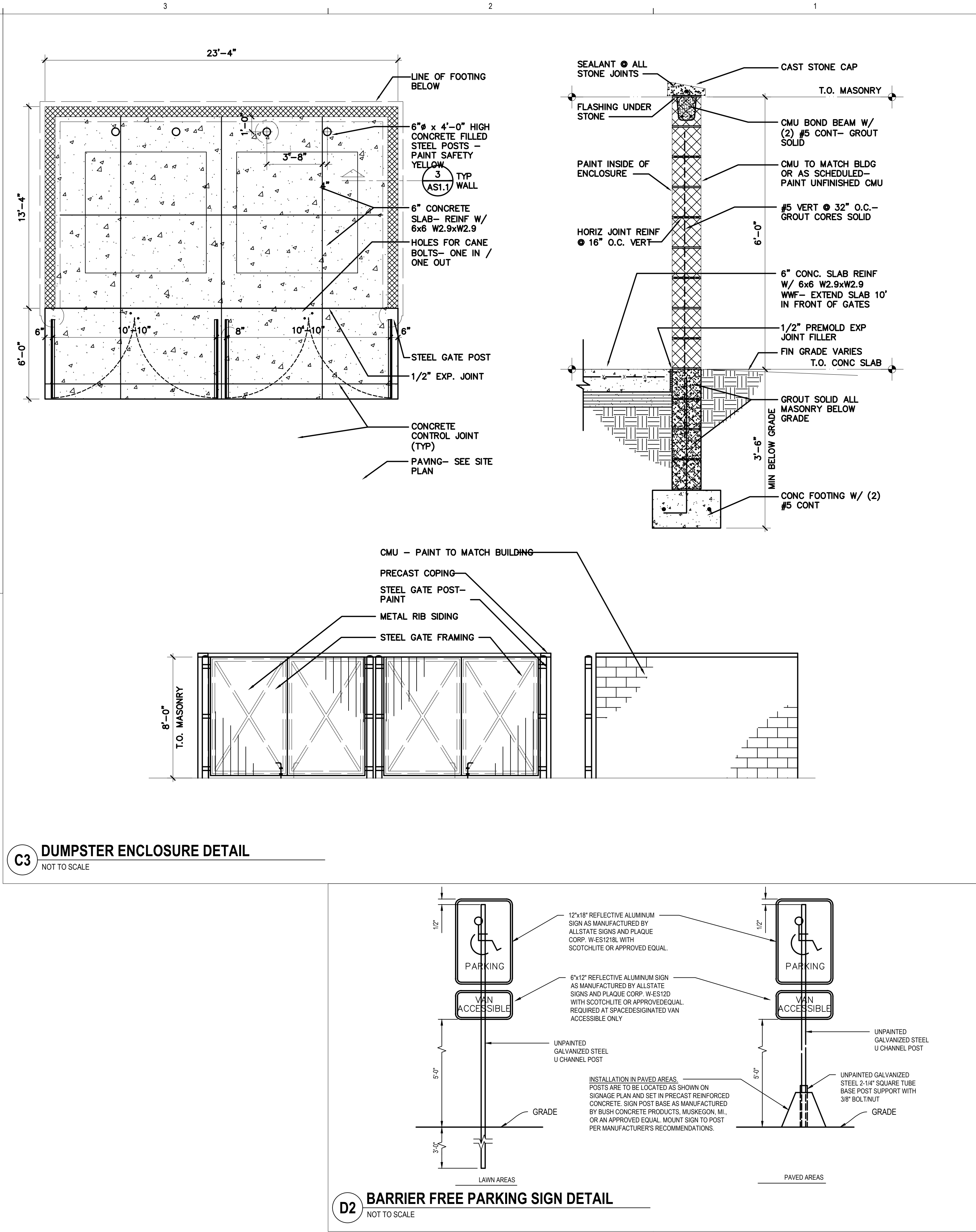
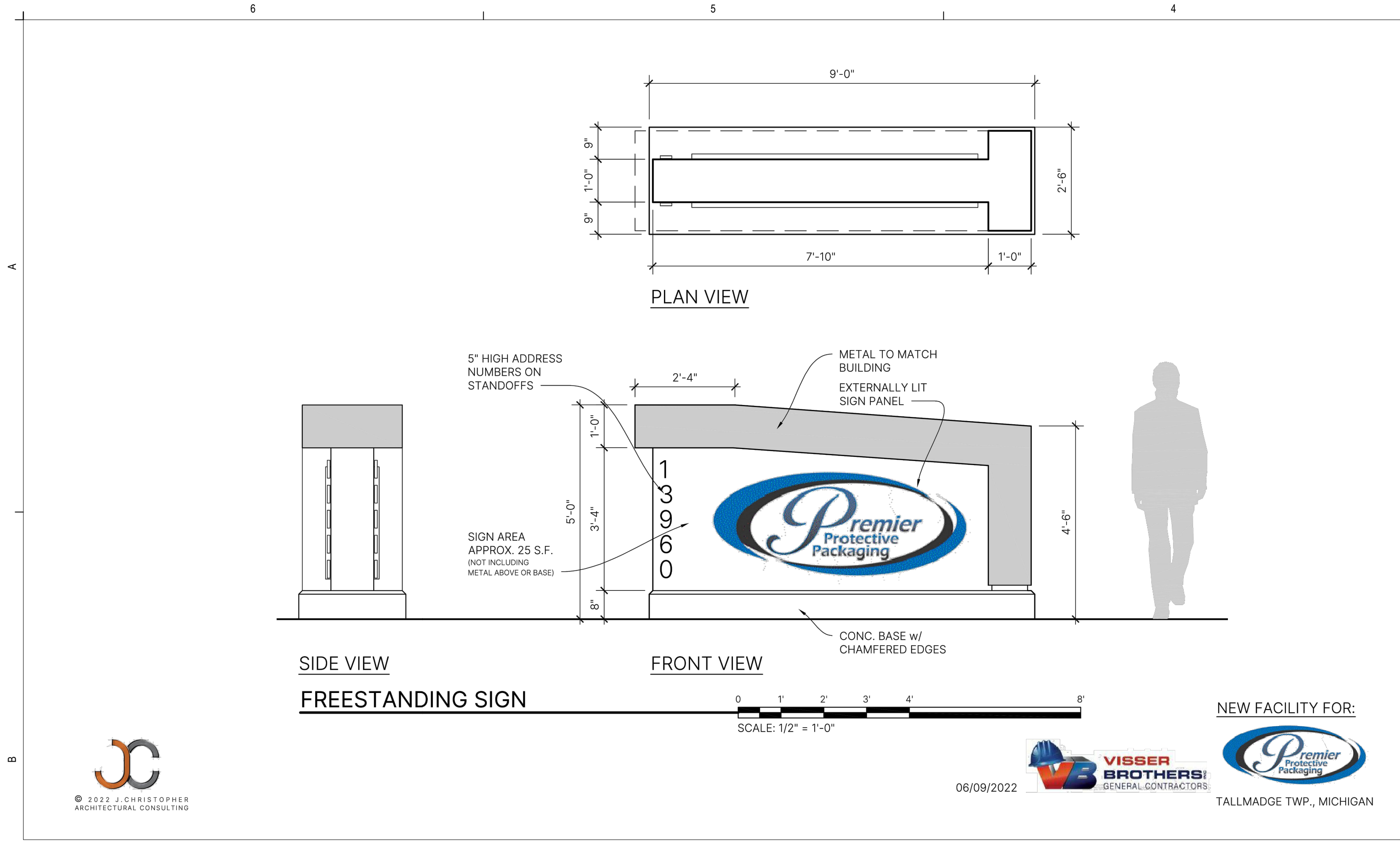
www.CALL811.com

CALL 811 NOTE:

CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.



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PLANT SCHEDULE

DECIDUOUS SHADE TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	REMARKS
QM	7	Quercus macrocarpa / Burr Oak	B & B	2"	10' ht min.	7' Branch Ht. Min.
UV	10	Ulmus americana 'Valley Forge' / American Elm	B & B	2"	10' ht min.	
		7' Branch Ht. Min.				
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	REMARKS
CP	19	Chamaecyparis nootkatensis 'Pendula' / Weeping Nootka Cypress	B & B		6-8"	
TD	17	Taxodium distichum / Bald Cypress	B & B	1.5"		
MEDIUM TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	REMARKS
CA4	6	Carpinus caroliniana / American Hornbeam	B & B	1.5"		
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	FT	HT	REMARKS
AA2	51	Aronia arbutifolia 'Brilliantissima' / Brilliant Red Chokeberry	#3 CONT			
CG	28	Cornus racemosa / Gray Dogwood	#5 CONT			
CA2	31	Cornus sericea 'Alleman's Compact' / Dwarf Red Twig Dogwood	#3 CONT			
CK	28	Cornus sericea 'Kelsey' / Kelsey's Dwarf Red Twig Dogwood	#1 CONT			
HA3	16	Hamamelis x intermedia / Witch Hazel	#5 CONT			
VL	22	Viburnum lentago / Nannyberry	#5 CONT			

LANDSCAPE MAINTENANCE SCHEDULE

TASK	MONTH	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
CARE OF PLANTS													
MONITORING													
PRUNING (AS NEEDED)													
DEADHEAD PLANTS													
FERTILIZATION													
CUT BACK													
WATERING AS NEEDED													
MONITORING													
PLANTING BEDS													
EDGING													
WEEDING AS NEEDED													
MULCHING													
SOIL TESTING													
LEAF REMOVAL													
PEST MANAGEMENT													
MONITORING													
LAWNS													
FERTILIZE/LIME SEEDING													
WINTER CLEAN UP													

THE SCHEDULE SHOWN ABOVE IS FOR GUIDANCE ONLY. SCHEDULING OF MAINTENANCE ACTIVITY SHOULD BE COORDINATED WITH SEASONAL WEATHER CONDITIONS.

EXISTING TREE PROTECTION NOTES

- CONTRACTOR IS RESPONSIBLE FOR UNDERSTANDING PROJECT CONDITIONS AND VERIFYING PLANT QUANTITIES. NOTIFY LANDSCAPE ARCHITECT OF PLAN DISCREPANCIES.
- PROTECT EXISTING TREES UNLESS OTHERWISE NOTED. NO PARKING OR STORAGE OF MATERIALS WITHIN TREE ROOT ZONE. PLACE TREE PROTECTION FENCE WHERE SHOWN ON PLAN.
- TREE PROTECTION FENCE PER DETAIL, SEE SHEET C1.01 FOR LOCATION AND SHEET L2.01 FOR SPECS. INSTALL PRIOR TO ANY CONSTRUCTION ACTIVITY AND MAINTAIN DURING ENTIRE CONSTRUCTION PERIOD.
- NO BURNING OR BURYING OF CLEARED OR DEMOLITION MATERIAL SHALL BE ALLOWED ON SITE.
- CONTRACTOR MUST RESTORE AND REPAIR ANY EXISTING CONDITIONS DISTURBED BY CONSTRUCTION.



CALL 811 NOTE:
CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

LANDSCAPE LEGEND

	LARGE CANOPY TREES		MANICURED LAWN AREA
	EVERGREEN TREES		PRAIRIE SEED MIX
	DECIDUOUS AND EVERGREEN SHRUBS		DETENTION BASIN EDGE SEED MIX
			SWALE SEED MIX
SEED	LAWN SEED MIX - FAST GROWING SEED MIX BY DEBRUYN SEED (50% PERENNIAL RYEGRASS 20% KENTUCKY BLUEGRASS 15% TURF-TYPE TALL FESCUE 15% ANNUAL RYEGRASS)		

GENERAL LANDSCAPE NOTES

- CONTRACTOR RESPONSIBLE FOR UNDERSTANDING PROJECT CONDITIONS AND VERIFYING PLANT QUANTITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY PLAN DISCREPANCIES.
- PLANT LOCATIONS TO BE STAKED IN THE FIELD FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT AND OWNER. CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING ALL EXISTING UNDERGROUND UTILITIES. CONTACT THE APPROPRIATE UTILITY COMPANY FOR FIELD STAKING ALL LINES.
- ALL AREAS DISTURBED BY CONSTRUCTION TO BE TOPSOILED AND SEEDED UNLESS SHOWN OTHERWISE ON PLANS.
- CONTRACTOR TO CONTACT MISS DIG AT PHONE NUMBER 811 AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES.
- CONTRACTOR TO COORDINATE PLANTING SCHEDULE WITH IRRIGATION CONTRACTOR.
- NOTIFY LANDSCAPE ARCHITECT IF AREAS OF POOR DRAINAGE OR OTHER UNUSUAL SUB-GRADE CONDITIONS ARE ENCOUNTERED DURING EXCAVATION FOR PLANTING PITS.
- SHRUB PLANTING BEDS AND TREE SAUCERS TO RECEIVE 3" SHREDDED HARDWOOD MULCH. PERENNIAL BEDS TO RECEIVE 2" DEPTH MULCH AND GROUND COVER AREAS TO RECEIVE 1" DEPTH MULCH.
- ALL SHRUB BEDS TO HAVE ALUMINUM EDGING AND WEED BARRIER FABRIC (SEE SPECIFICATIONS).
- PLANTING MIXTURE FOR PERENNIALS SHALL BE SIX INCH DEPTH OF FOUR PARTS BY VOLUME OF TOPSOIL TO ONE PART OF SPHAGNUM PEAT MOSS.
- CONTRACTOR SHALL PROVIDE SPECIFIED SHRUBS, GROUND COVERS AND OTHER PLANT MATERIALS THAT COMPLY WITH ALL RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS STOCK, GROWN WITH GOOD HORTICULTURAL PRACTICE AND INSTALLED IN ACCORDANCE WITH METHODS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- NOTIFY LANDSCAPE ARCHITECT AND OWNER (3 DAYS MIN. NOTICE) TO INSPECT AND TAG PLANT MATERIAL IN THE NURSERY PRIOR TO JOBSITE DELIVERY AND INSTALLATION.

IRRIGATION NOTES

- IRRIGATION TO ALL LANDSCAPED AREAS INCLUDING MANICURED LAWN, PLANTING BEDS, AND RIGHT-OF-WAY LANDSCAPING. TO BE PROVIDED. NO OVER SPRAY ALLOWED ON PAVED SURFACES. ALL LANDSCAPE BEDS AND ISLANDS LESS THAN 12" WIDTH TO BE DRIP IRRIGATED. IRRIGATION PLAN TO BE PROVIDED. CONTRACTOR SHALL COORDINATE PLANTING SCHEDULE WITH IRRIGATION CONSULTANT.
- WATER APPLICATION RATES SHALL NOT EXCEED INFILTRATION RATE OF SOIL. RAIN SWITCHES OR MOISTURE SENSORS TO BE INSTALLED.
- IRRIGATION CONTROLLERS MUST BE CAPABLE OF DUAL OR MULTIPLE PROGRAMMING. CONTROLLERS MUST HAVE MULTIPLE CYCLE START CAPACITY AND FLEXIBLE CALENDAR PROGRAMS. PROVIDE A POST-ESTABLISHMENT WATER SCHEDULE FOR THE YEAR. SCHEDULE IS TO BE DIVIDED INTO FOUR (4) SEASONAL QUARTERS.

ZONING NOTES

ZONE DISTRICT: INDUSTRIAL I-1
ADJACENT ZONING: SINGLE FAMILY RESIDENTIAL R-1 (EAST & SOUTH)
INDUSTRIAL I-1 (WEST)
RURAL PRESERVE RP (NORTH OF I-96)
PARCEL SIZE: 22.06 ACRES

REQUIRED SETBACKS:

FRONT: 75 FEET
SIDE: 10 FEET (NEXT TO I-1)
SIDE: 15 FEET (NEXT TO R-1)
REAR: 50 FEET

PARKING SETBACK
FRONT: 10 FEET (FROM ROW)
SIDE: MAY BE PAVED TO PROPERTY LINE

PARKING REQUIRED: 135 SPACES
1 UNIT X 5 SPACES/INDIVIDUAL UNIT (FOR INDUSTRIAL)
130 EMPLOYEES X 1 SPACE PER EMPLOYEE

PARKING PROVIDED:

STANDARD (9'X20'): 144
BARRIER FREE: 5
TOTAL SPACES: 149

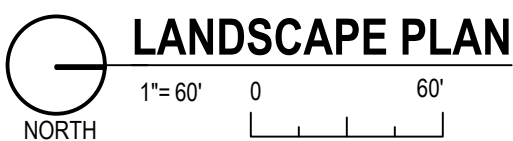
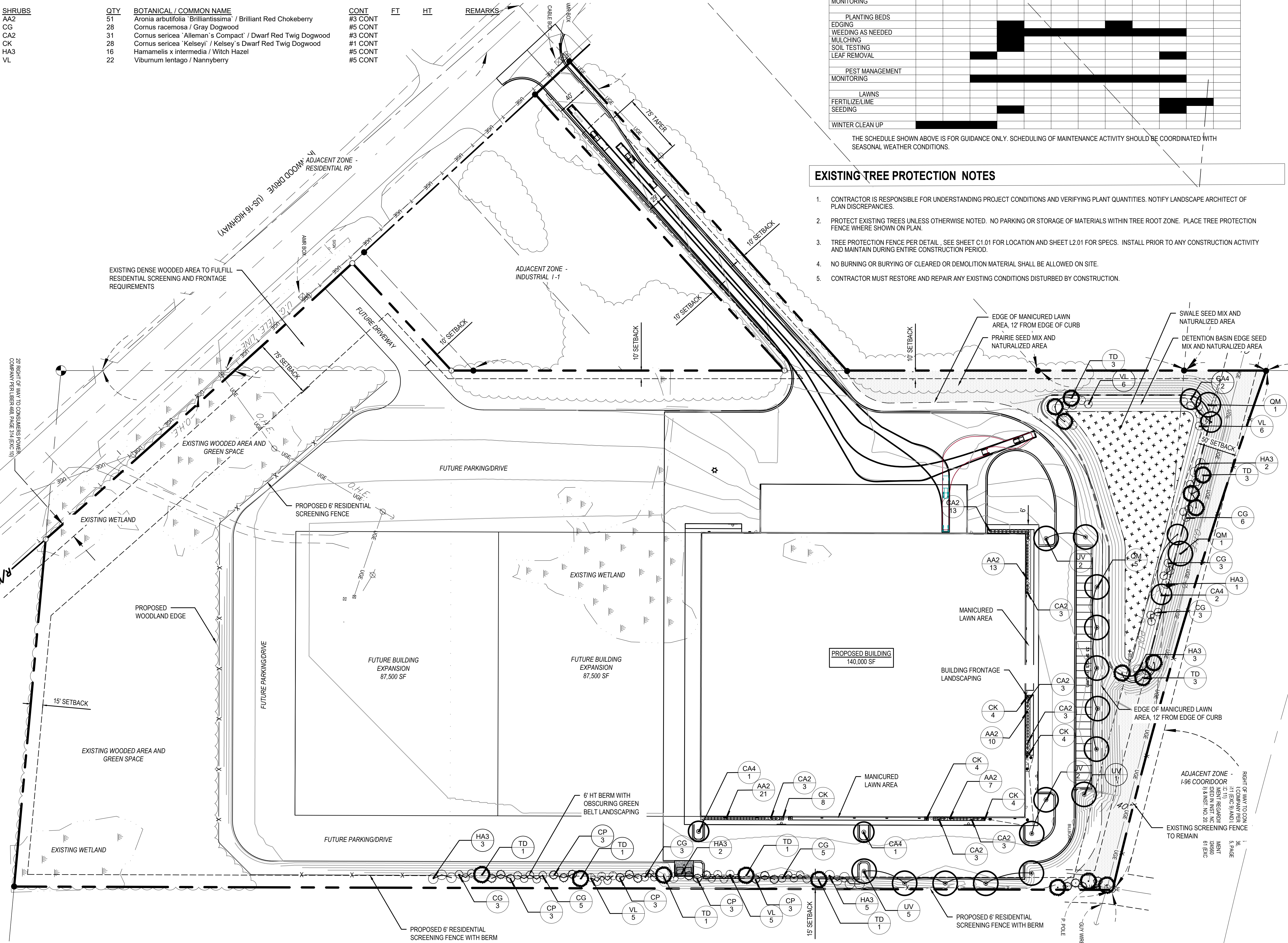
STREET FRONTAGE: 1 TREE + 2 SHRUBS PER 40' LF. 1 ORN. PER 100'
(508LF/40') * 1T+2S = 12.7 TREES AND 25.4 SHRUBS
(508LF/100') * 1 ORN = 5 ORNAMENTAL TREES

PROVIDED: EXISTING DENSE WOODED BUFFER TO REMAIN AND FULFILL FRONTAGE REQUIREMENTS.

RESIDENTIAL SCREEN: 6' FENCE
6' BERM WITH OBSCURING GREEN BELT

PROVIDED: BOTH A FENCE AND BERM WITH GREEN BELT ARE PROVIDED TO FULFILL SCREENING REQUIREMENTS. THE BREAKDOWN IS AS FOLLOWS

1,134FT: 6' FENCE
535FT: 6' BERM + OBSCURING GREEN BELT



NOT FOR CONSTRUCTION

VISSER BROTHERS, INC.

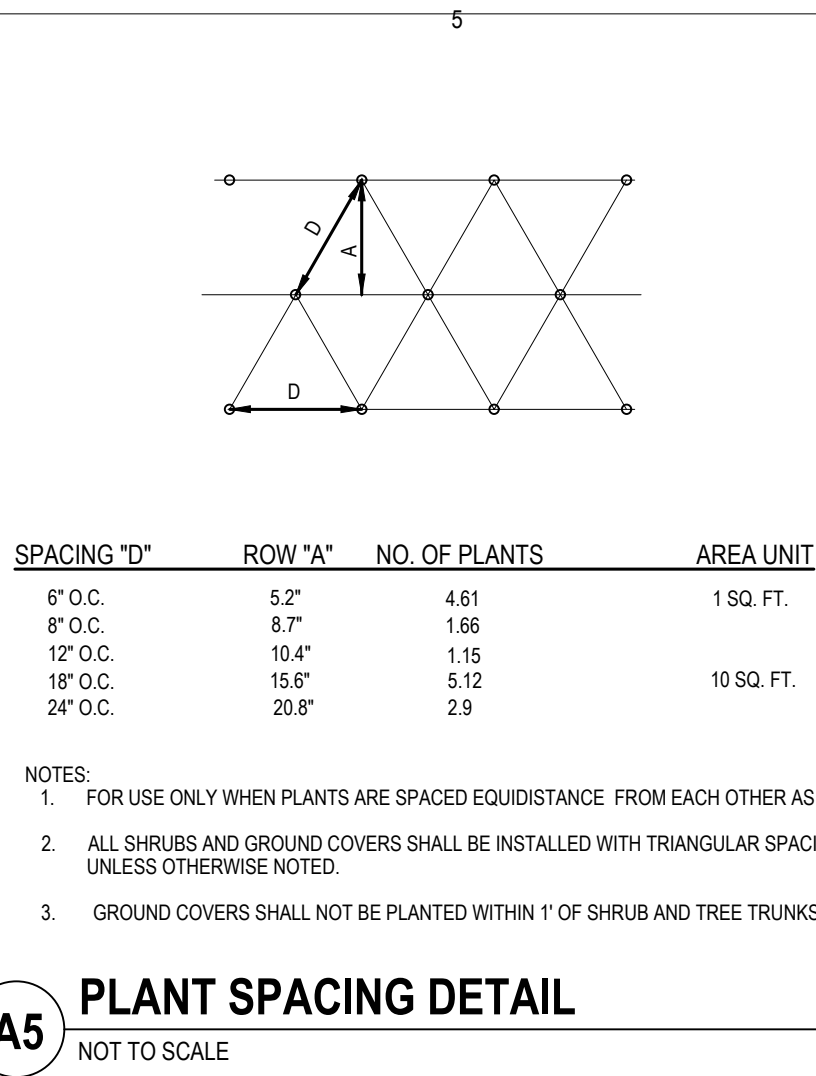
IRONWOOD

MANUFACTURING

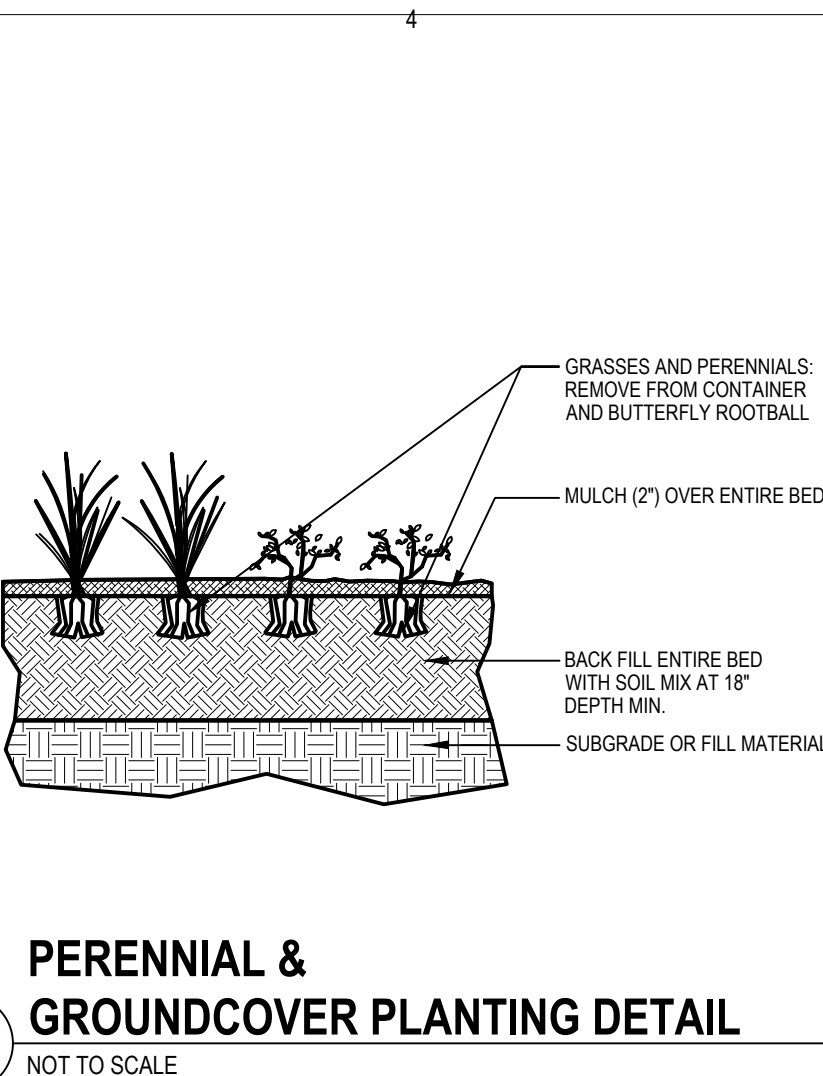
PROJECT NUMBER
73600111
PROJECT MANAGER
S. TEITSMAN
PROFESSIONAL
B. SIMON
DRAWN BY
S. WANDYKE
CHECKED BY

LANDSCAPE PLAN
L201

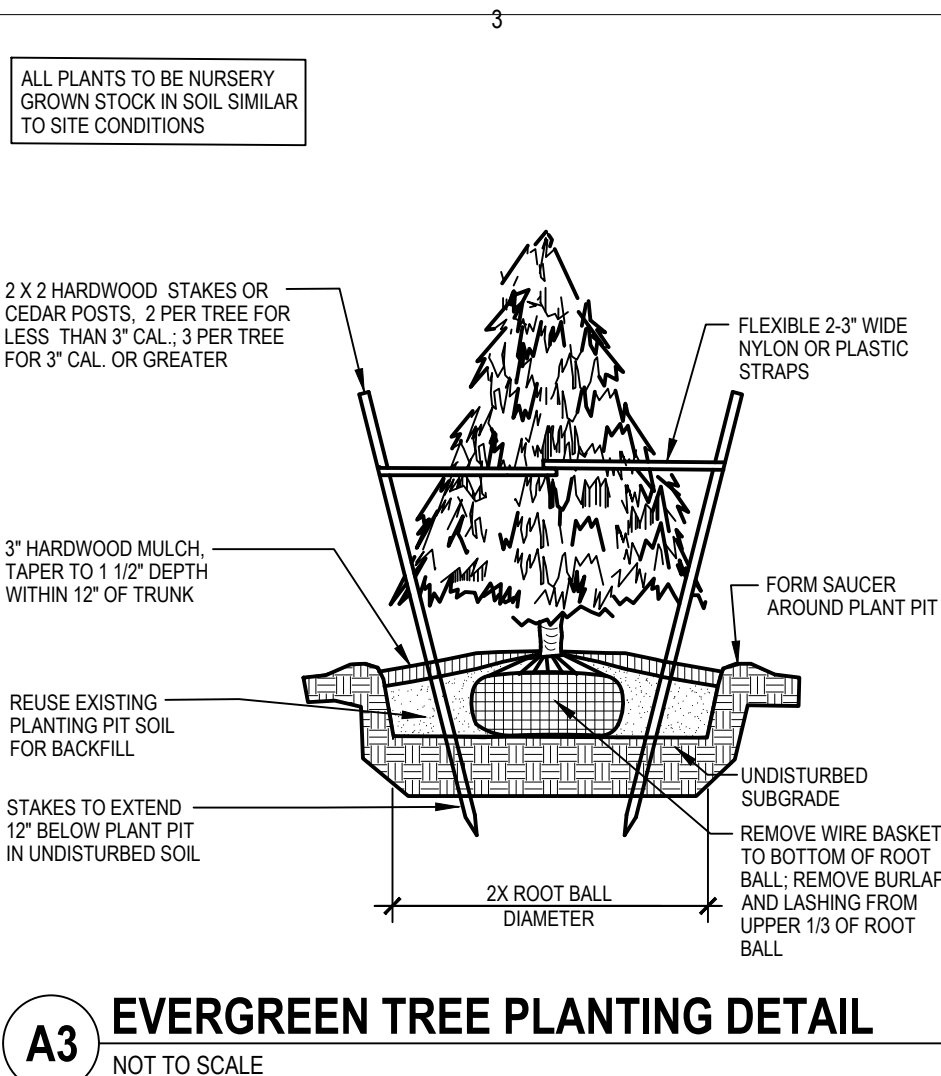
1811 4 Mile Rd NE (Grand Rapids, MI 49521) 616.361.2654
330 South Tryon St. Suite 500 | Charlotte, NC 28202 | 704.731.9800
www.progressiveae.com



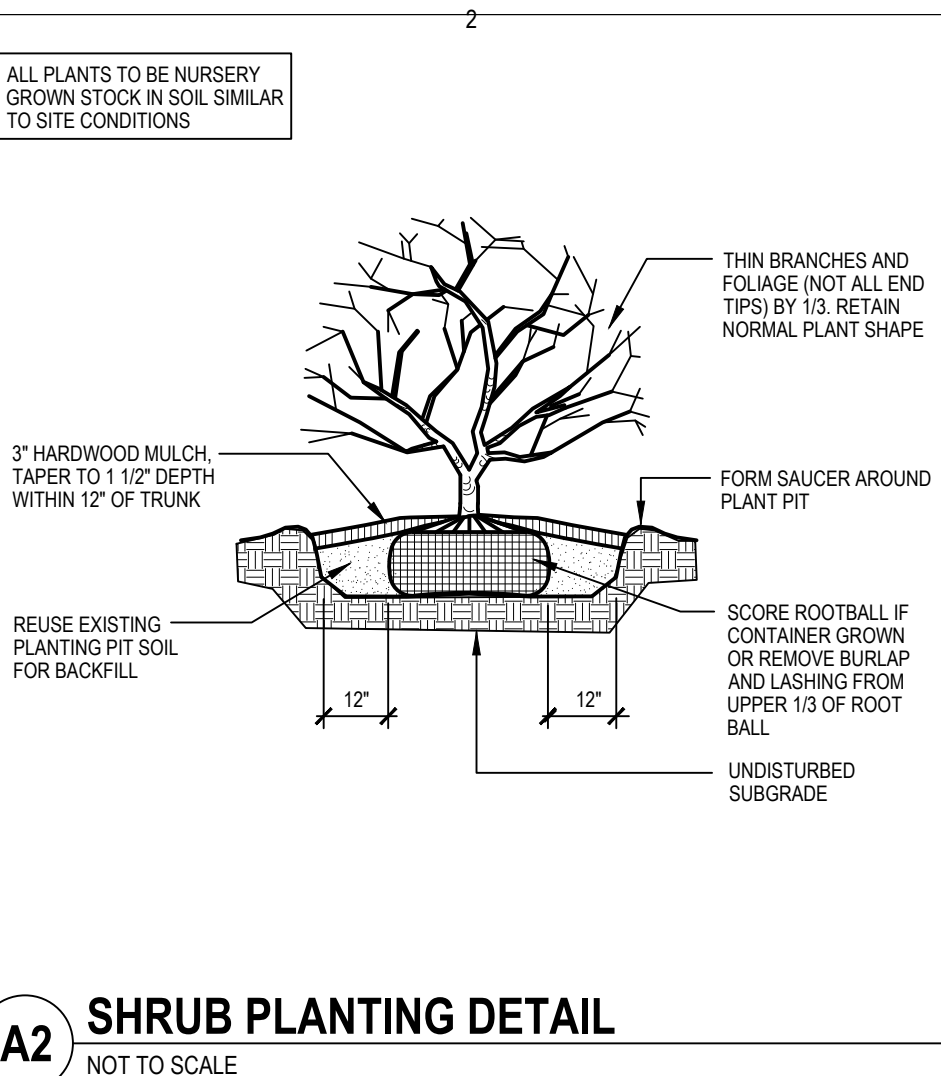
A5 PLANT SPACING DETAIL
NOT TO SCALE



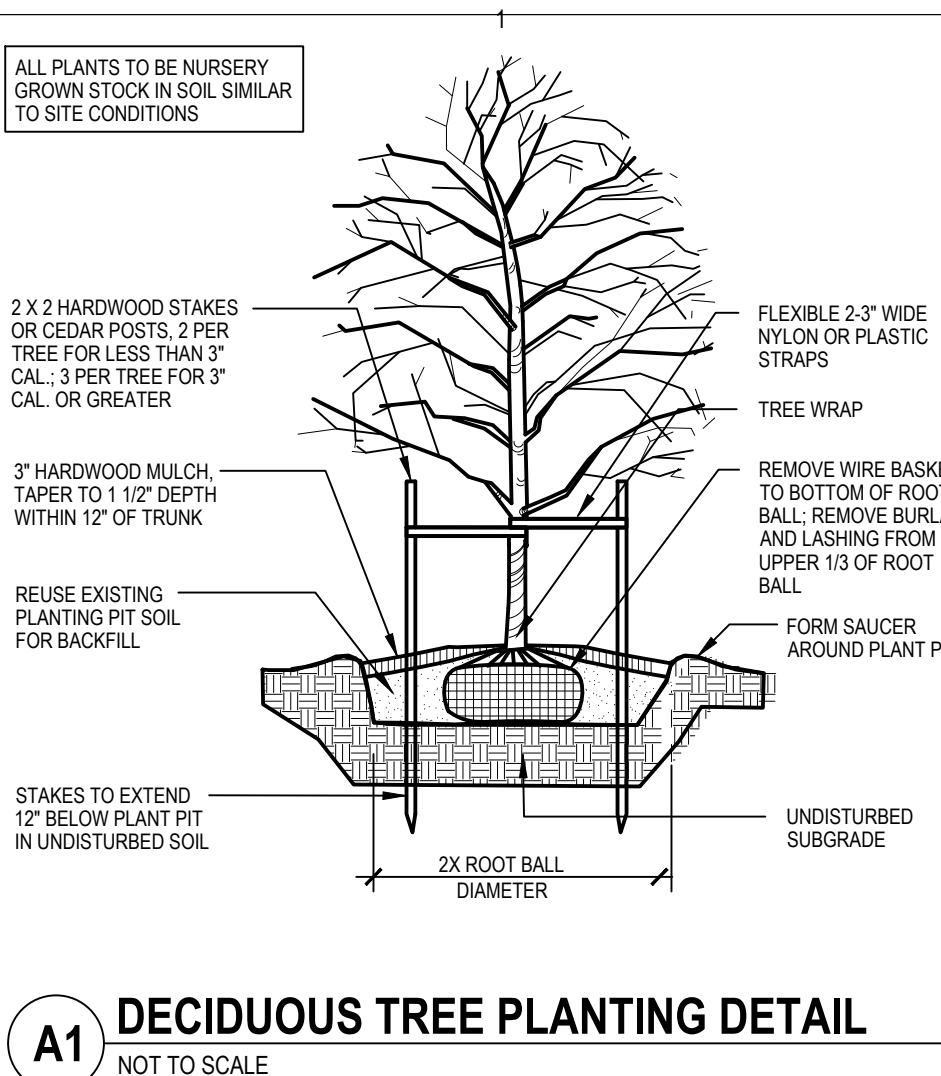
A4 PERENNIAL & GROUND COVER PLANTING DETAIL
NOT TO SCALE



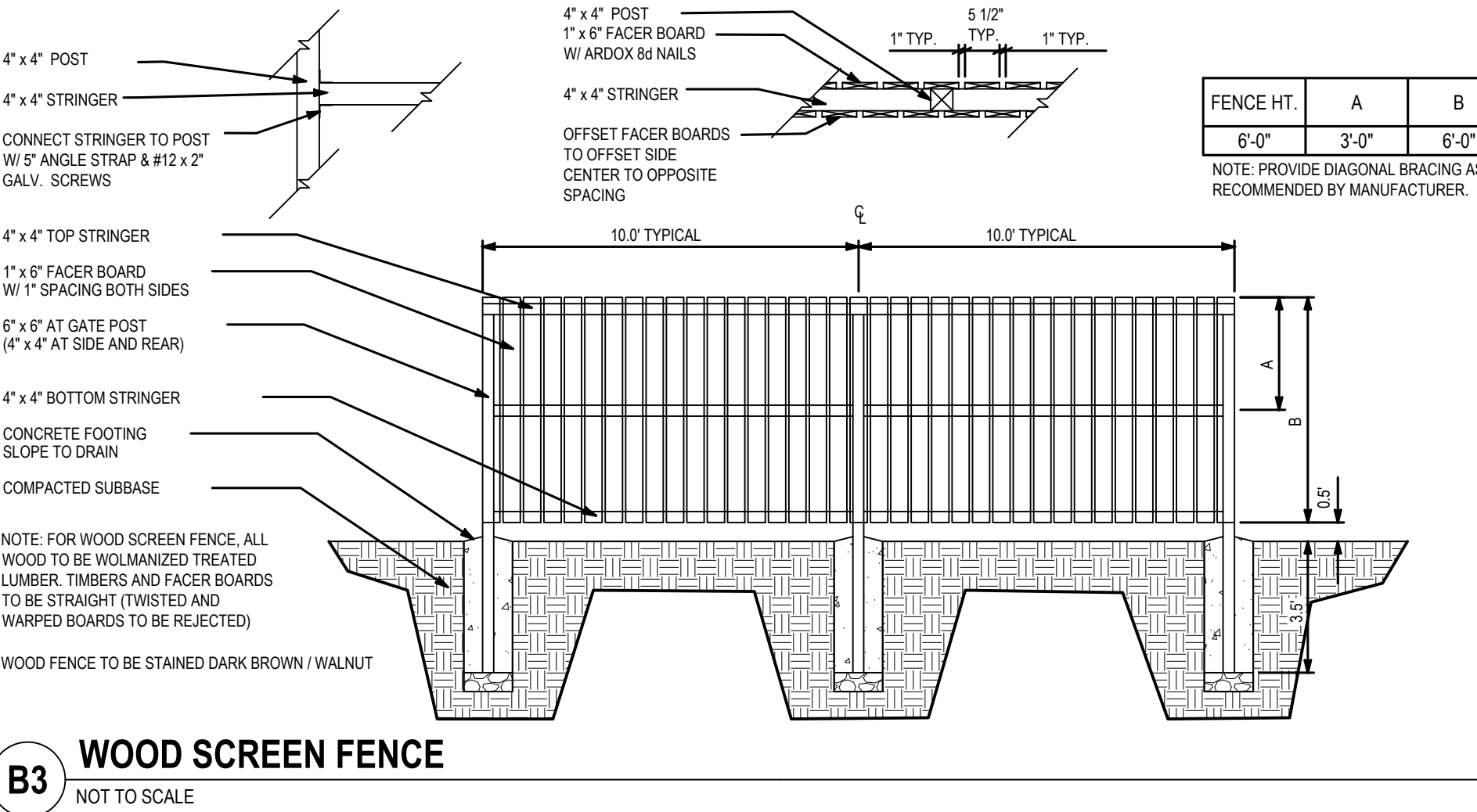
A3 EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



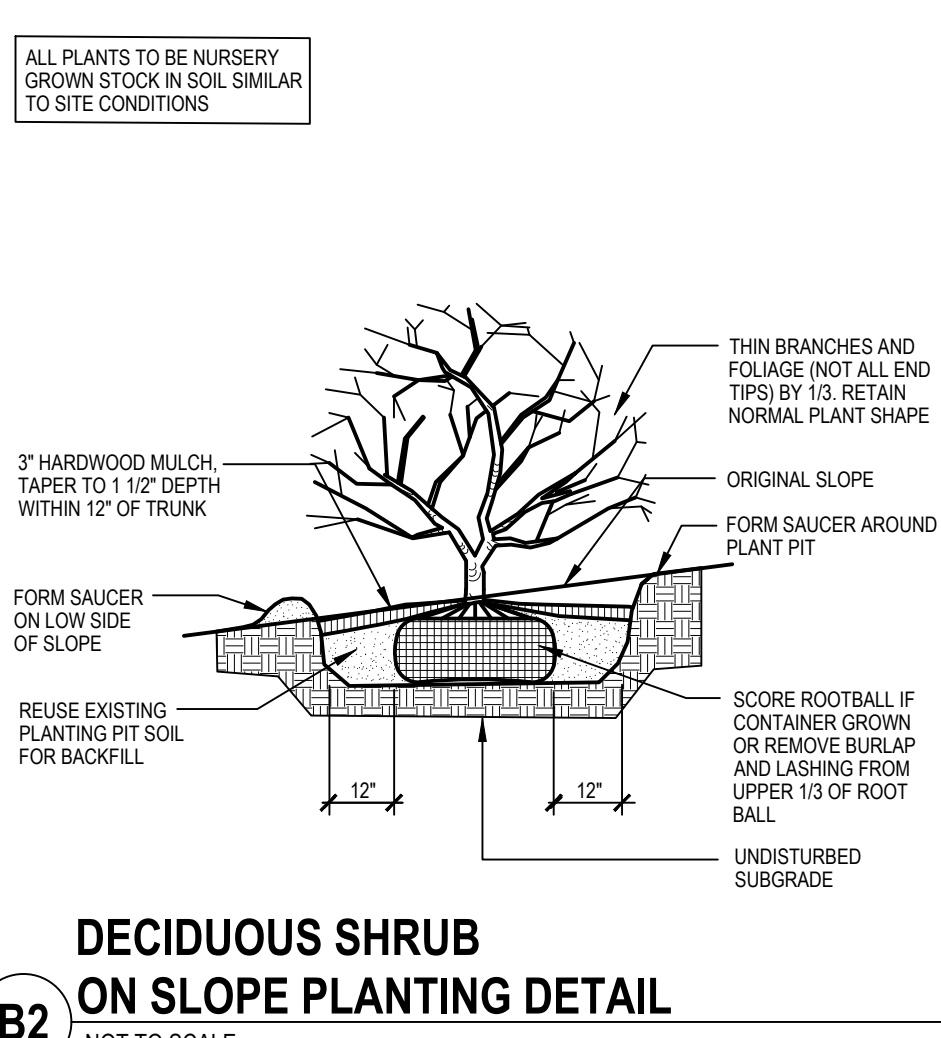
A2 SHRUB PLANTING DETAIL
NOT TO SCALE



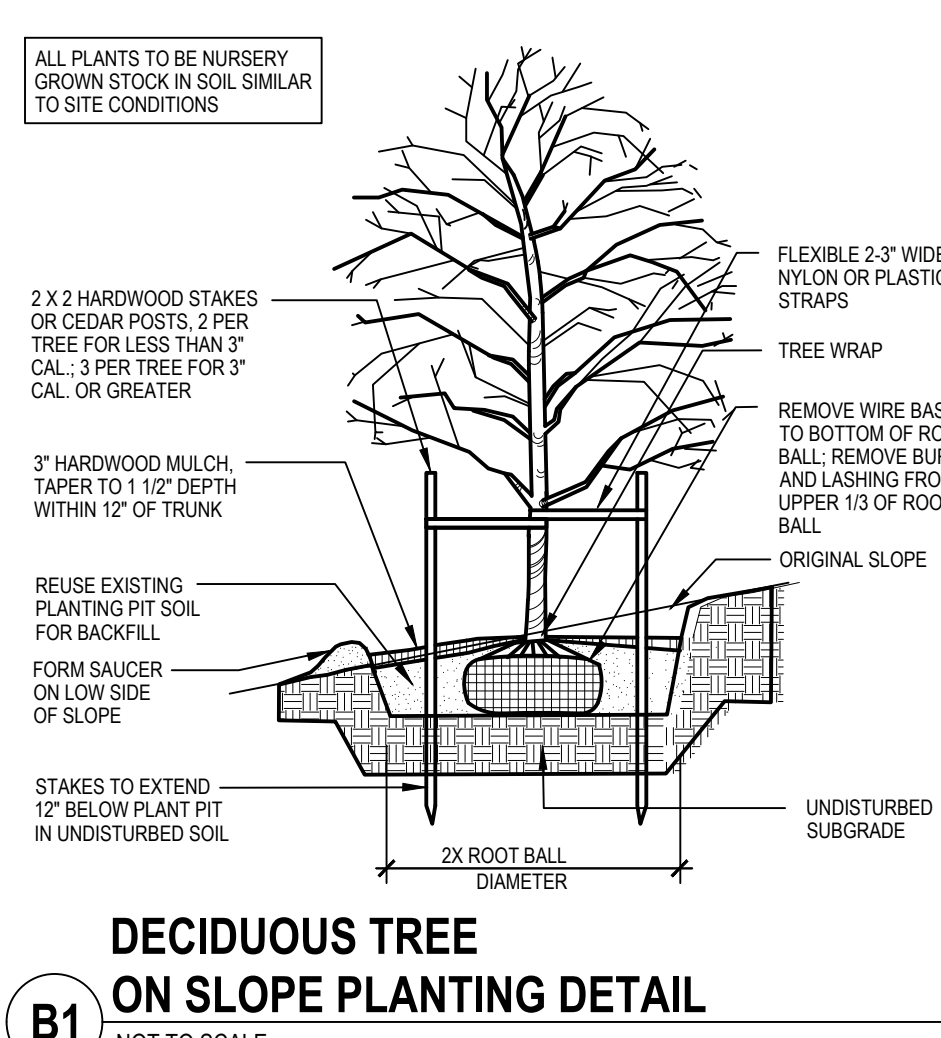
A1 DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



B3 WOOD SCREEN FENCE
NOT TO SCALE

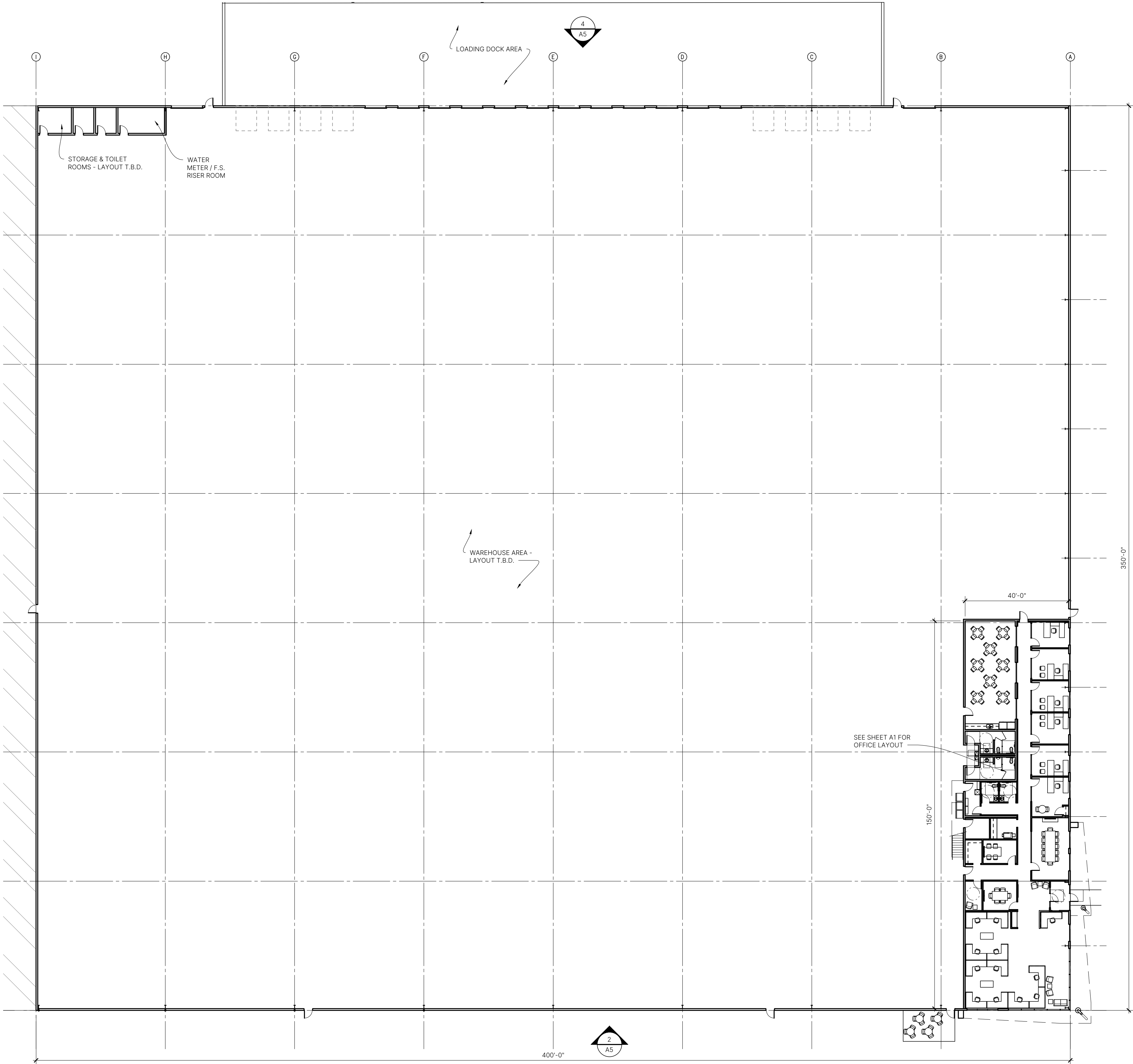


**B2 DECIDUOUS SHRUB
ON SLOPE PLANTING DETAIL**
NOT TO SCALE



**B1 DECIDUOUS TREE
ON SLOPE PLANTING DETAIL**
NOT TO SCALE





OVERALL BUILDING PLAN

New Facility for:
Premier Protective Packaging
Ironwood Drive NW
Tallmadge Twp., Michigan

ISSUED:
05/12/22 ... SITE SUBMITTAL
06/09/22 ... REVISIONS

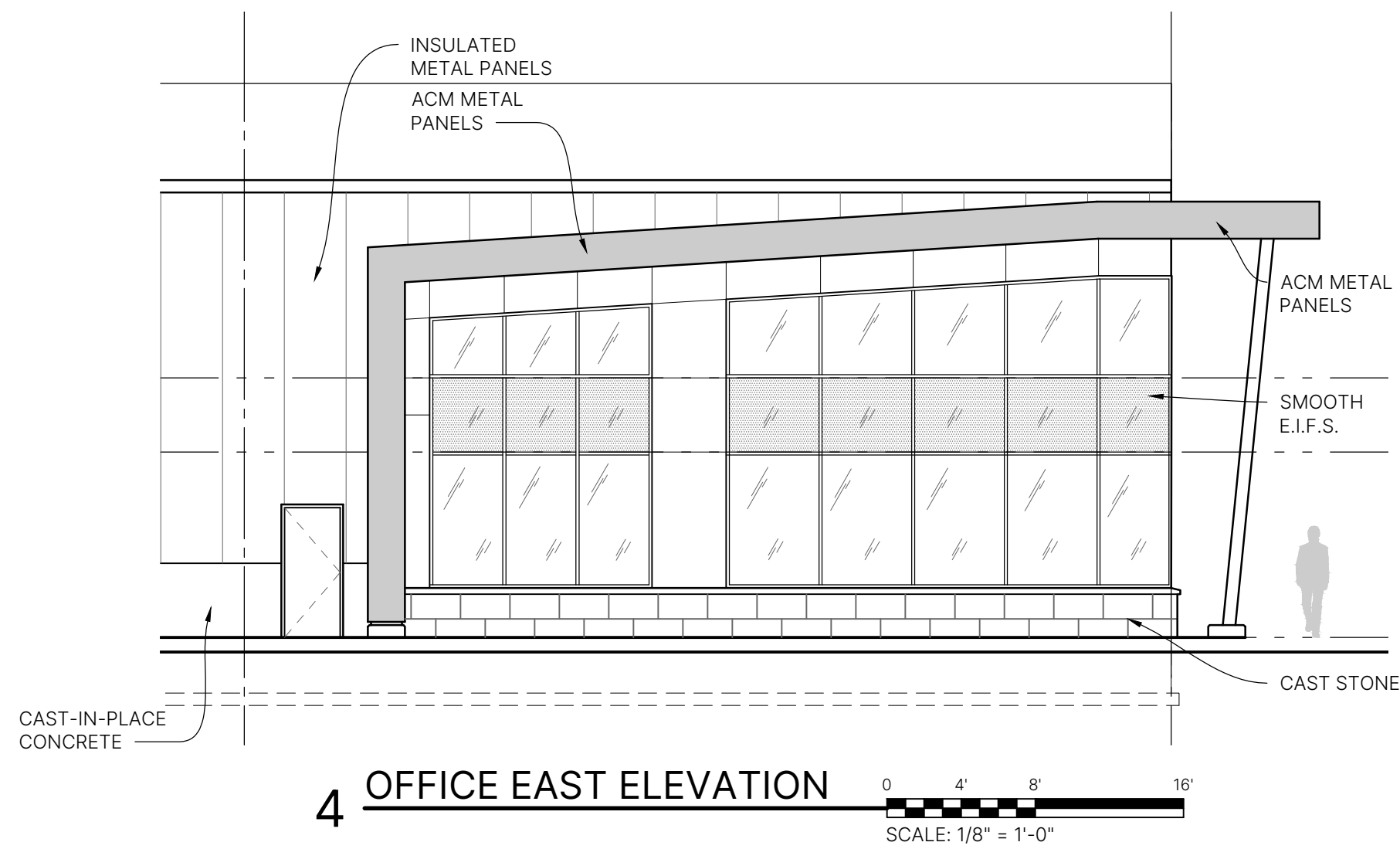
DRAWING TITLE:
**OVERALL
BUILDING
FLOOR PLAN**

SHEET #:

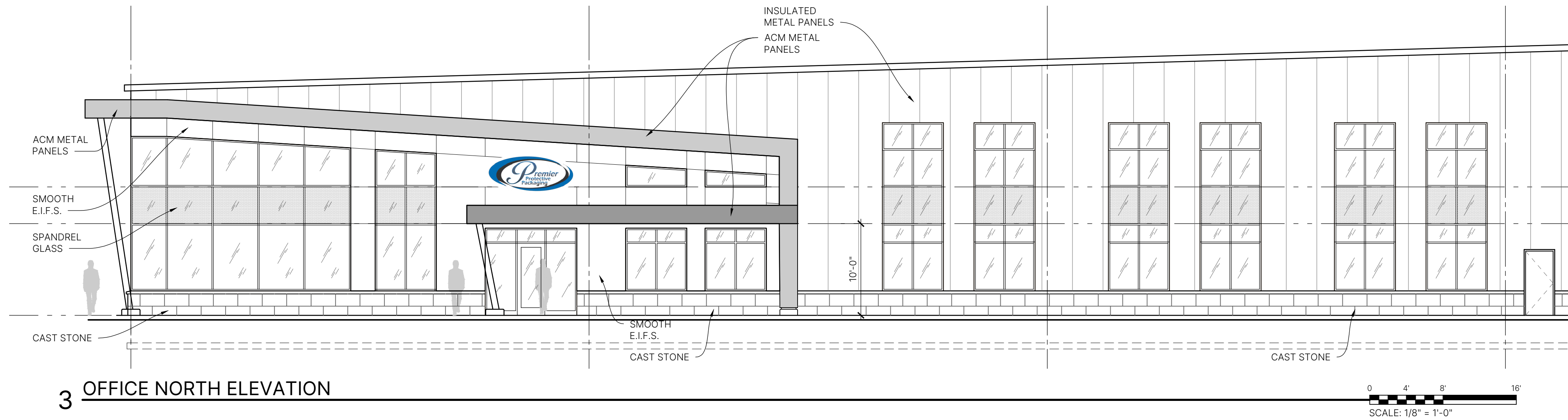
A0

JCC FILE #:
22010

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4 OFFICE EAST ELEVATION

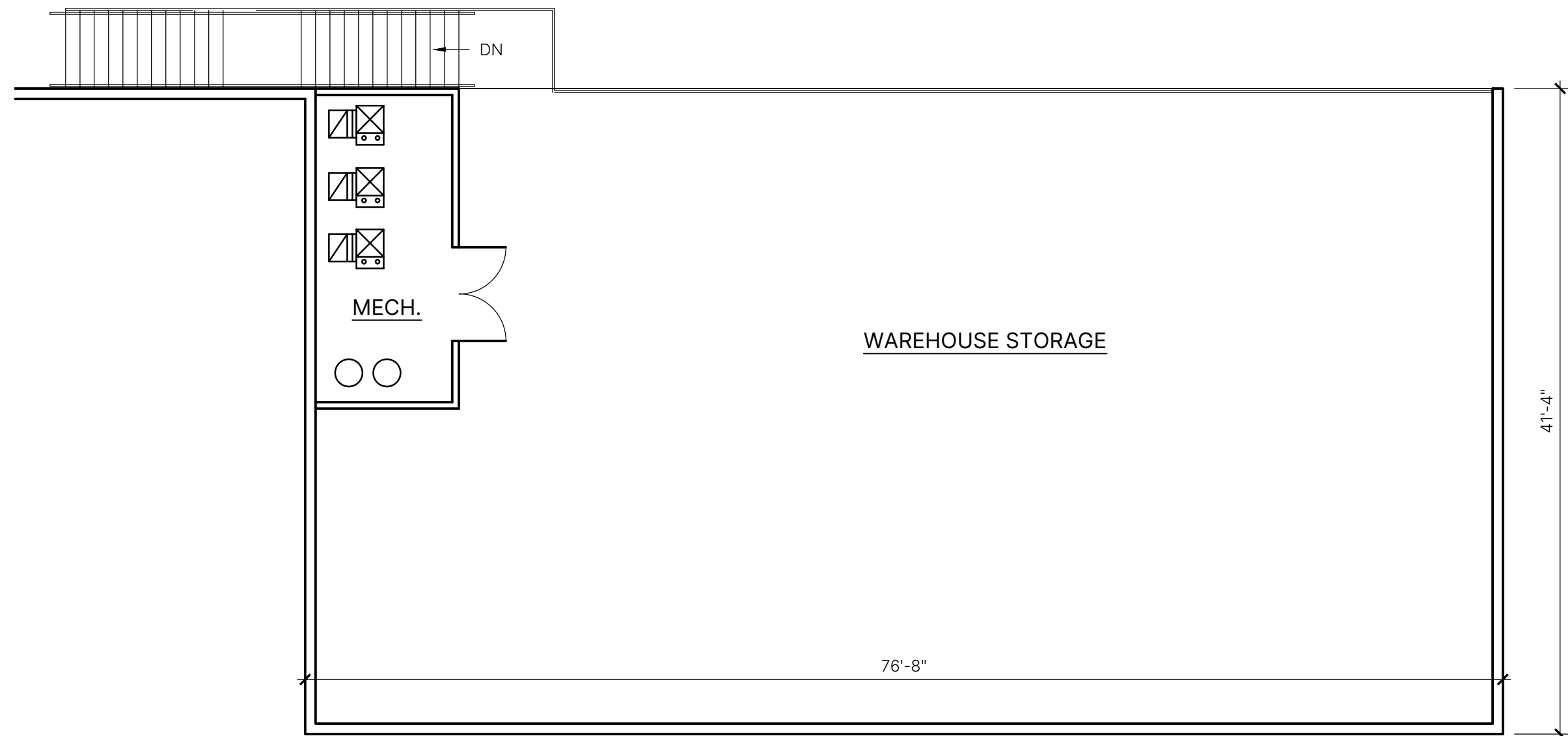


3 OFFICE NORTH ELEVATION

EXTERIOR MATERIAL SUMMARY

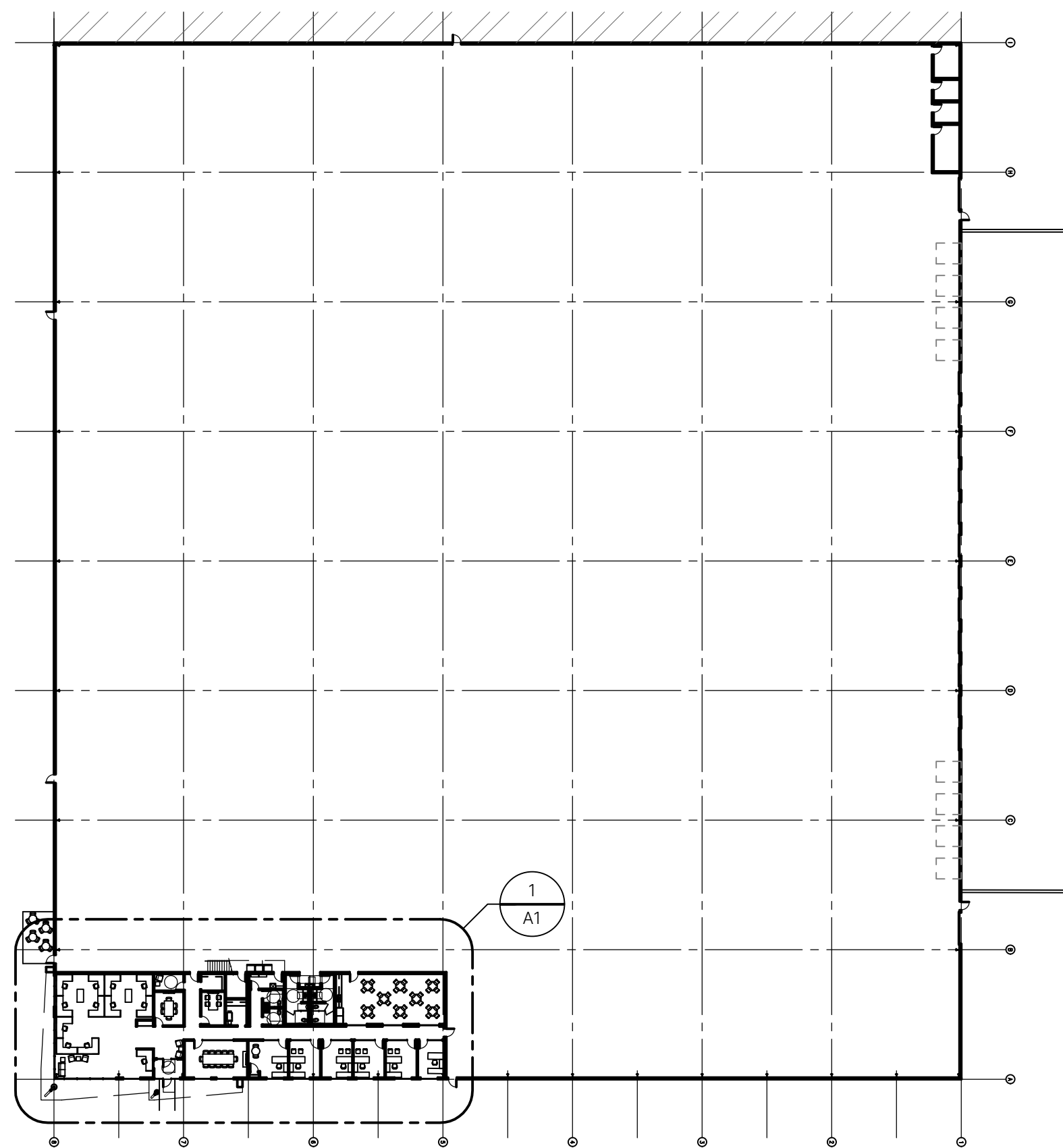
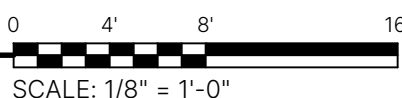
Front (North) Facade (Customer Parking & Facing I-96)
(SEE SHEET A5 FOR OVERALL NORTH ELEVATION)

Total Area:	9,416 s.f.
Total Glazing Area:	1,964 s.f. (20.8%)
Total Area (less glazing):	7,452 s.f.
EIFS =	448 s.f. (8.0%)
Accent Metal Panels =	256 s.f. (3.4%)
Cast Stone Veneer =	774 s.f. (10.4%)
Insulated Metal Panels=	5,757 s.f. (80.2%)

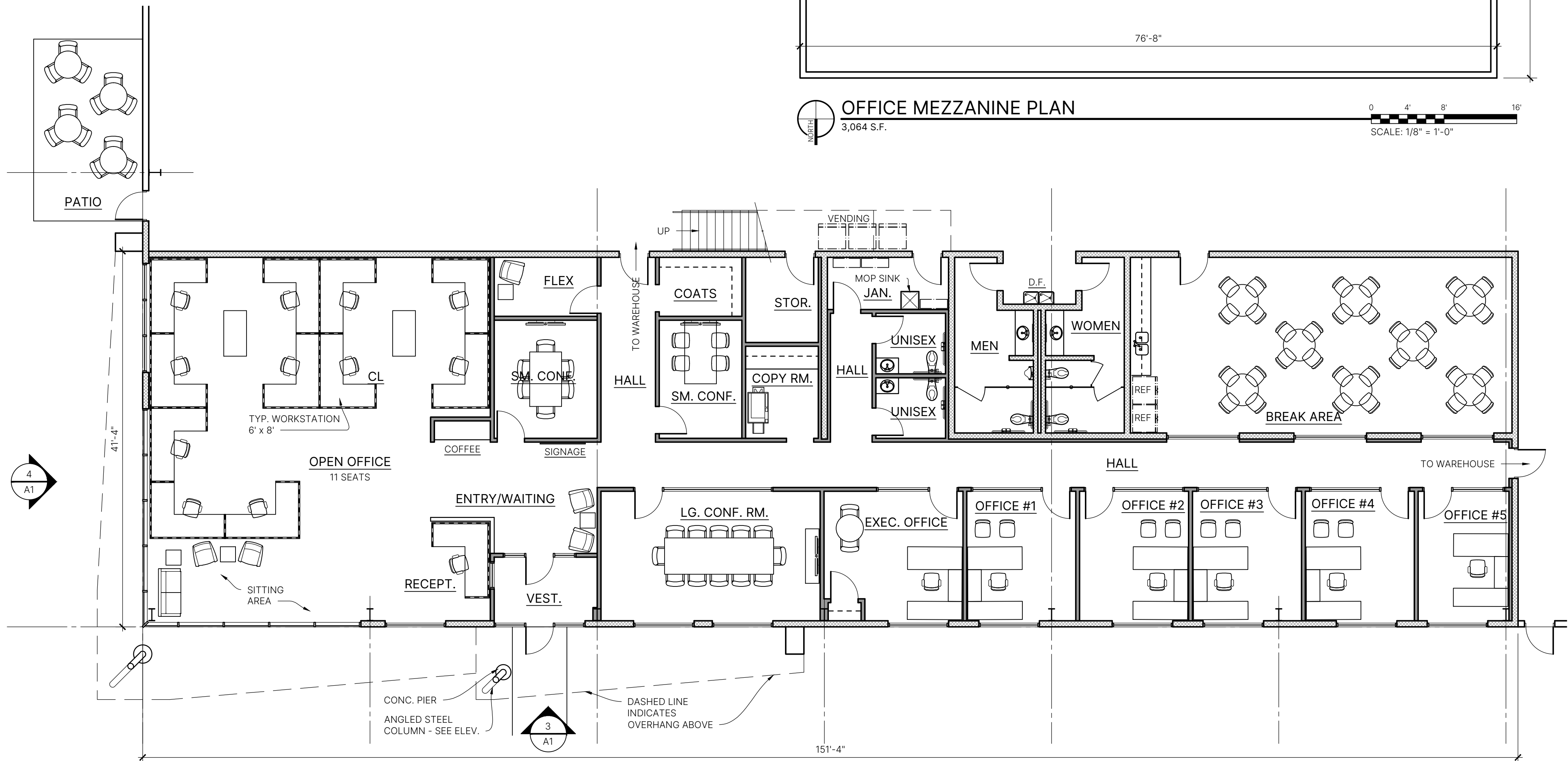
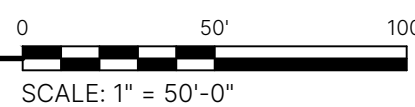


OFFICE MEZZANINE PLAN

3,064 S.F.

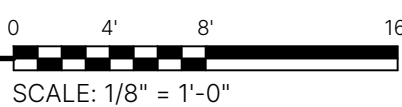


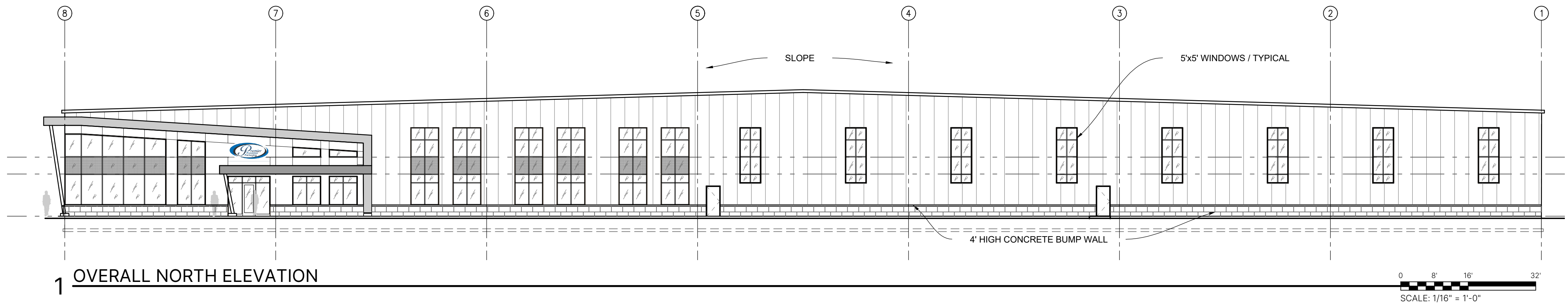
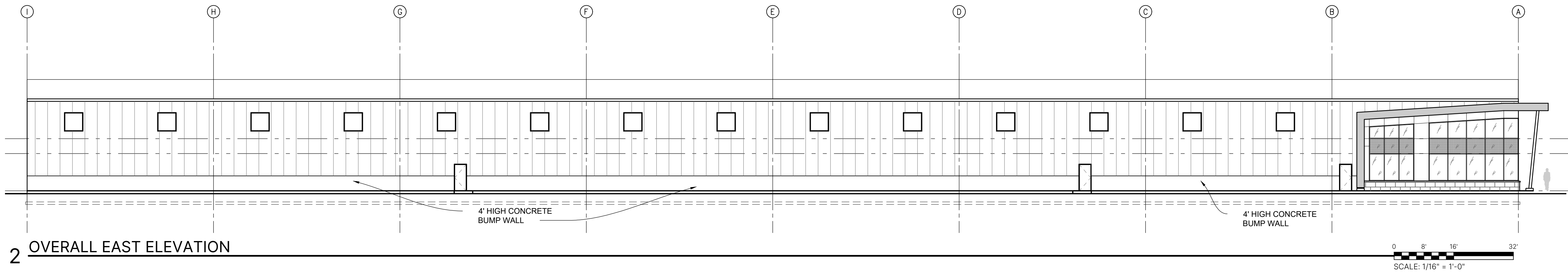
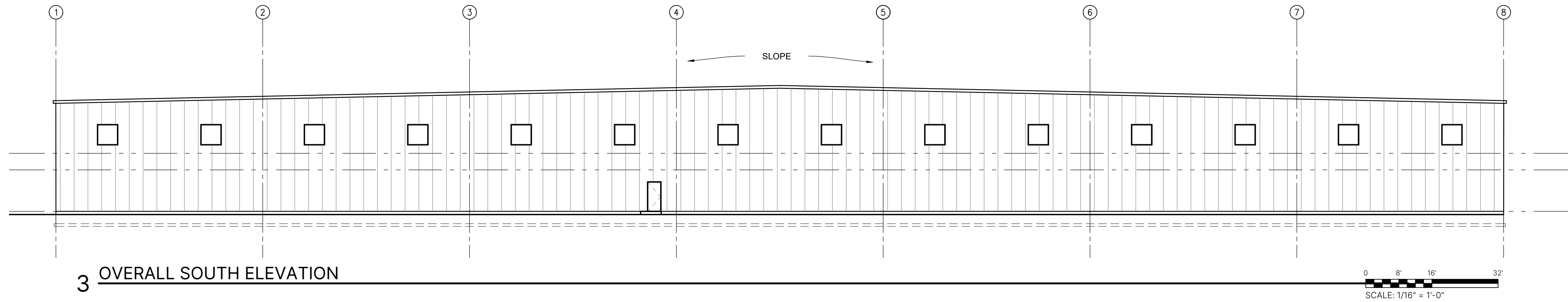
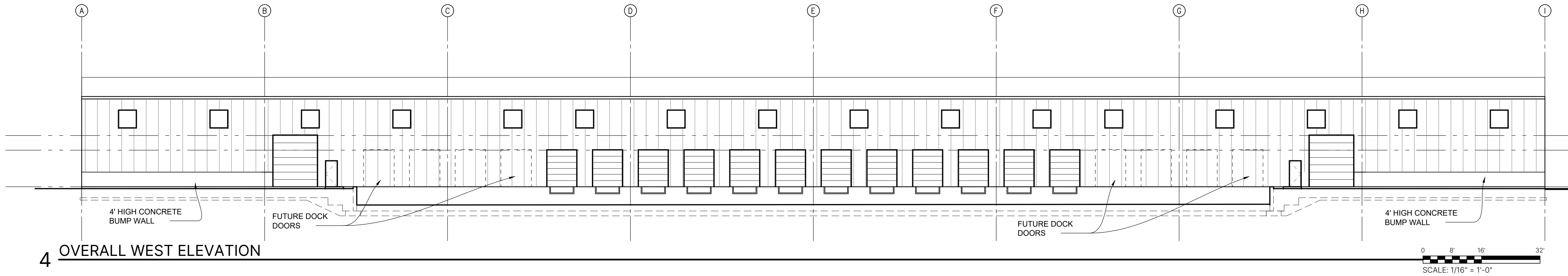
OVERALL BUILDING PLAN



1 OFFICE FLOOR PLAN

6,000 S.F.





New Facility for:
Premier Protective Packaging
Ironwood Drive NW
Tallmadge Twp., Michigan

ISSUED:	
05/12/22	SITE SUBMITTAL
06/09/22	REVISIONS

DRAWING TITLE
**OVERALL
BUILDING
ELEVATIONS**

SHEET #:

A5

JCC FILE #:
22010

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