

NEW BUILDING FOR:
TALLMADGE CHARTER TOWNSHIP
O-1451 LEONARD STREET NW,
GRAND RAPIDS, MICHIGAN 49534

PROJECT NUMBER: #25015
PROJECT TEAM

OWNER

TALLMADGE CHARTER TOWNSHIP
O-1451 LEONARD STREET NW,
GRAND RAPIDS, MICHIGAN 49534

ARCHITECT

OMEGA ARCHITECTS, PC
3483 PRAIRIE ST SW
GRANDVILLE, MICHIGAN 49418
(616) 532-7775

STATISTICS AND CODE INFORMATION	
CODE REVIEW	
APPLICABLE CODES:	2021 MICHIGAN BUILDING CODE
BUILDING CODE:	AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) AND I.C.C./ANSI A117.1-2003
PLUMBING CODE:	2021 MICHIGAN PLUMBING CODE
MECHANICAL CODE:	2021 MICHIGAN MECHANICAL CODE
ELECTRICAL CODE:	2023 MICHIGAN ELECTRICAL CODE
USE GROUP CLASSIFICATION (CHAPTER 3)	
USE GROUP:	S-1 STORAGE
TYPE OF CONSTRUCTION (CHAPTER 6)	
TYPE:	V-B COMBUSTIBLE UNPROTECTED



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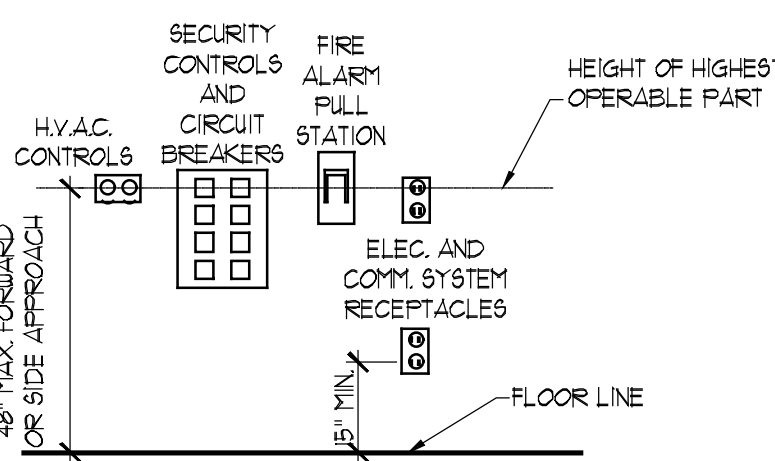


Date	Issued For
08-11-2025	FOR BIDS
08-27-2025	APPENDUM #1
09-04-2025	APPENDUM #2

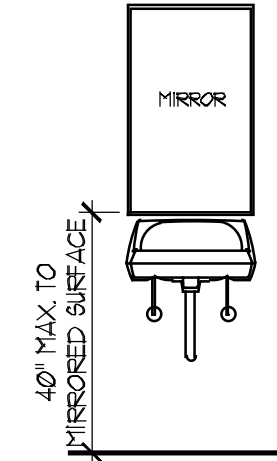
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O-1451 Leonard Street NW,
Grand Rapids, Michigan 49534

PROJECT NUMBER	25015
SHEET	TS.01
TITLE SHEET	

- GENERAL NOTES**
- SCOPE OF WORK: THE GENERAL CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY TO PROVIDE A COMPLETE AND FINISHED SPACE AS REQUIRED BY THE DRAWINGS AND SPECIFICATIONS. THE GENERAL CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY FOR COMPLETION OF THE WORK. NO CHANGES SHALL BE MADE TO THE PLANS OR SPECIFICATIONS PRIOR TO OBTAINING APPROVAL FROM THE ARCHITECT.
 - APPLICABLE CODES: ALL APPLICABLE STATE LAWS, MUNICIPAL ORDINANCES, AND THE RULES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER CONSTRUCTION OF THE PROJECT SHALL APPLY TO THE CONTRACT THROUGHOUT, AND THEY WILL BE DEEMED TO BE INCLUDED IN THE CONTRACT THE SAME AS THOUGH HEREIN WRITTEN OUT IN FULL.
 - COORDINATING AND EXPEDITING: IT SHALL BE THE FULL RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE AND EXPEDITE ALL PHASES OF THE WORK, REGARDLESS OF WHETHER THE OWNER AWARDS SEPARATE CONTRACTS FOR ANY TRADES, BRANCHES, OR ITEMS OF WORK AND EQUIPMENT. THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY FIELD MEASUREMENTS AND OTHERWISE VERIFY ALL DIMENSIONS SHOWN ON DRAWINGS. SHOULD ANY ERROR OR INCONSISTENCY EXIST, THE GENERAL CONTRACTOR SHALL NOT PROCEED WITH THE WORK AFFECTED THEREBY UNTIL HE HAS NOTIFIED THE ARCHITECT.
 - VOLUNTARY ALTERNATES: ALL SUBSTITUTIONS SHALL BE ON AN "OR EQUIVALENT" BASIS AND MAY BE USED ONLY WITH THE WRITTEN APPROVAL FROM THE OWNER OR ARCHITECT, UNLESS OTHERWISE THEREIN SPECIFIED. THE QUALITY OF ALL MATERIALS AND WORKMANSHIP SPECIFIED FOR ALTERNATES SHALL BE THE SAME AS THAT SPECIFIED FOR WORK OF SIMILAR TYPE, CHARACTER, AND MATERIALS THROUGHOUT THE BUILDING. QUALITIES SPECIFIED ARE MINIMUM REQUIREMENTS. THE OWNER IS THE SOLE JUDGE OF QUALITY, SUITABILITY, CONSTRUCTION, DESIGN, COLORS AND/OR FINISHES. SUBSTITUTIONS MADE WITHOUT THE OWNER'S APPROVAL ARE AT THE GENERAL CONTRACTOR'S RISK.
 - TEMPORARY UTILITIES AND SERVICES: DUMPSTERS SHALL BE PROVIDED BY THE GENERAL CONTRACTOR FOR THE USE OF THE SUBCONTRACTORS IN CONNECTION WITH THE PERFORMANCE OF THEIR WORK. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR PLACING THEIR IDENTIFIABLE DEBRIS IN THE DUMPSTER ON A DAILY BASIS OR AS DIRECTED BY THE GENERAL CONTRACTOR. SUBCONTRACTORS SHALL LEAVE THE WORK AREAS BROOM- CLEAN AT THE END OF EACH DAY. SUBCONTRACTORS' CONSTRUCTION MATERIALS, TOOLS, EQUIPMENT, AND DEBRIS SHALL BE STORED ONLY WITHIN THE DEMISED PREMISES, OR IN AREAS TEMPORARILY DESIGNATED FOR THAT PURPOSE BY THE OWNER. WATER, SANITARY AND ELECTRICAL SHALL BE PROVIDED BY CONTRACTOR UNLESS OWNER GIVES PERMISSION TO USE UTILITIES IN EXISTING FACILITY. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A TEMPORARY LIGHTING AND POWER SYSTEM AS REQUIRED FOR THE WORK OF ALL TRADES DURING CONSTRUCTION, AND SHALL REMOVE SAME PRIOR TO THE COMPLETION OF THE PROJECT.
 - GUARANTEE/WARRANTY: THE GENERAL CONTRACTOR SHALL PROVIDE TO THE OWNER A WRITTEN GUARANTEE PROPERLY SIGNED AND DATED THAT ALL WORK FOR THE BUILDING UNDER THIS CONTRACT, SHALL BE FREE FROM DEFECTS OF FAULTY LABOR AND/OR MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.

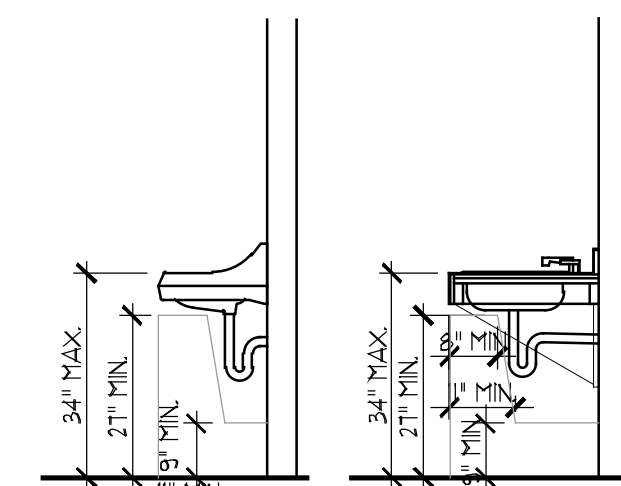


CONTROLS AND OUTLETS
NTS

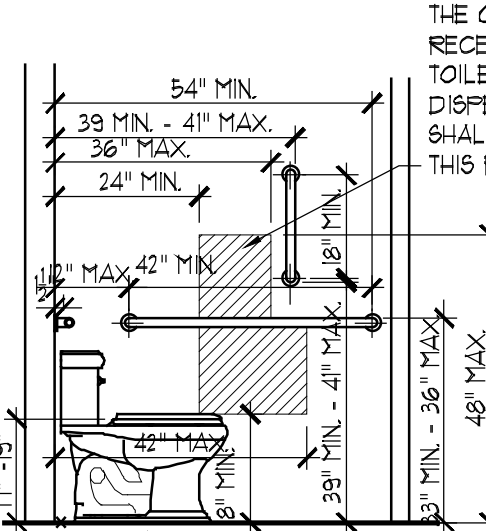


NOTE: WATER SUPPLY LINES AND DRAIN PIPES SHALL BE INSULATED. NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES
LAVATORY FRONT VIEW - WALL MOUNT
NTS

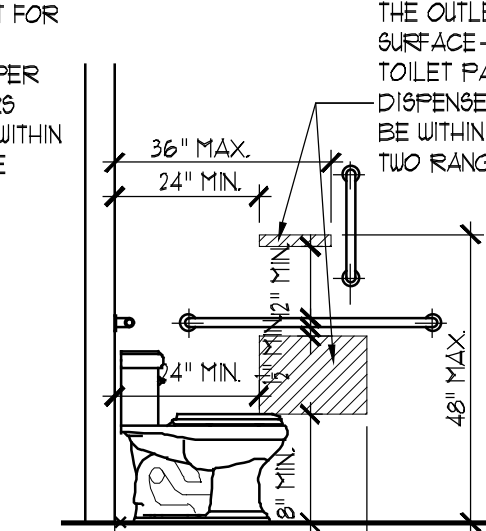
LAVATORY SIDE VIEW - WALL MOUNT



SINK SIDE VIEW - COUNTER

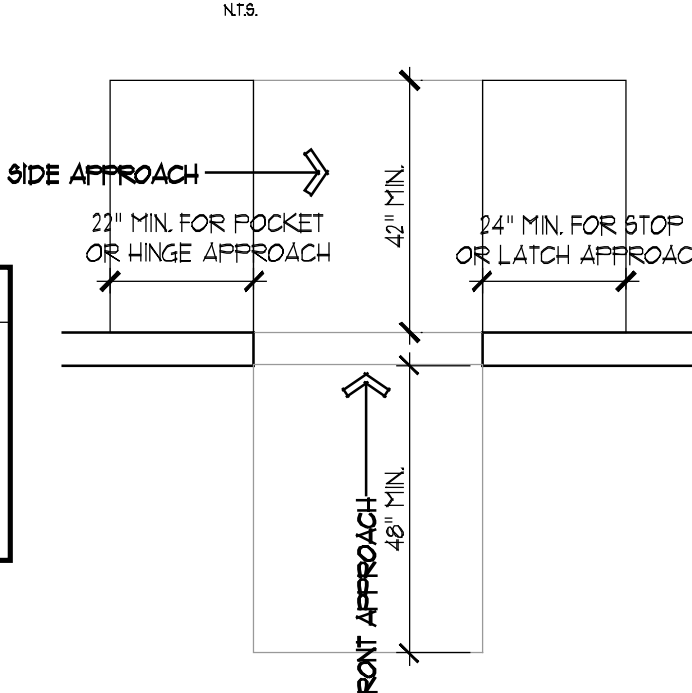


WATER CLOSET SIDE VIEW - WALL/FLOOR MOUNT

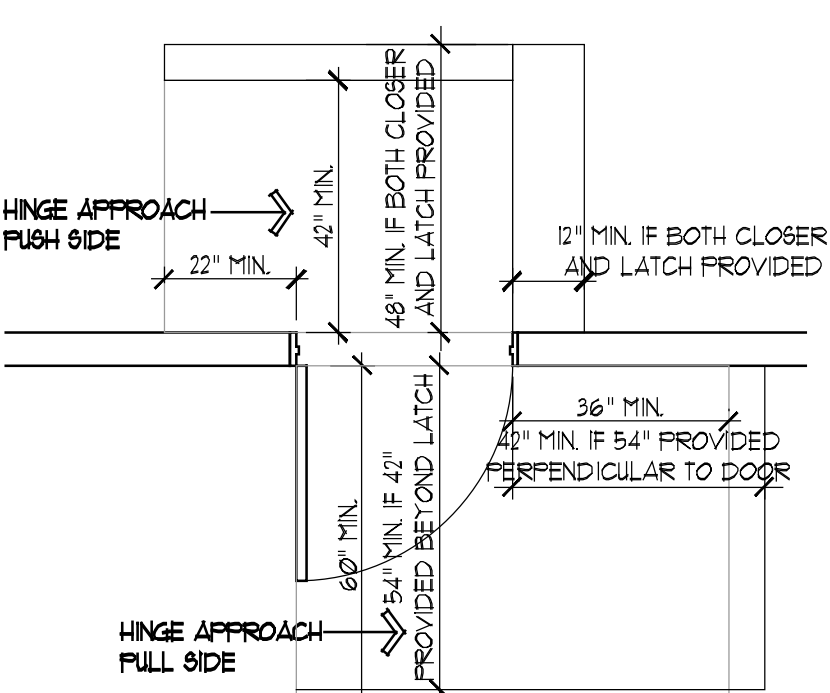


WATER CLOSET FRONT VIEW - WALL/FLOOR MOUNT

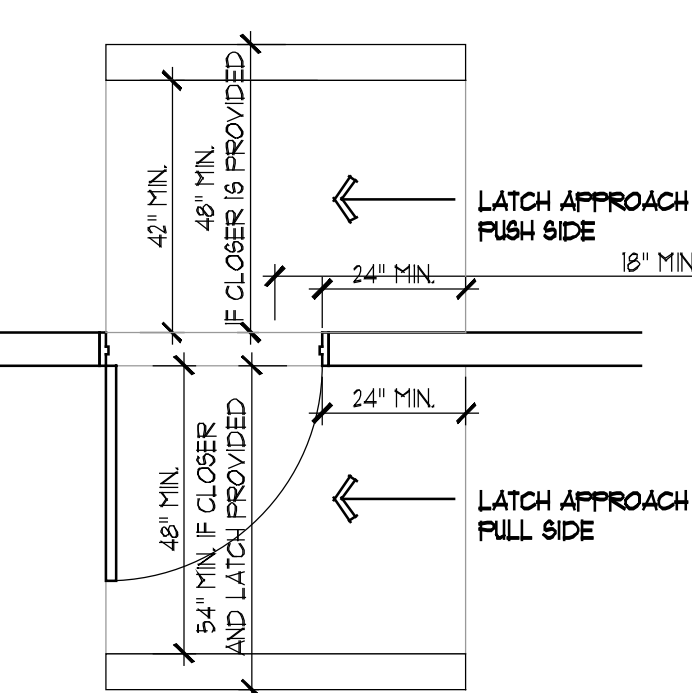
TOILET ROOM FIXTURES
NTS



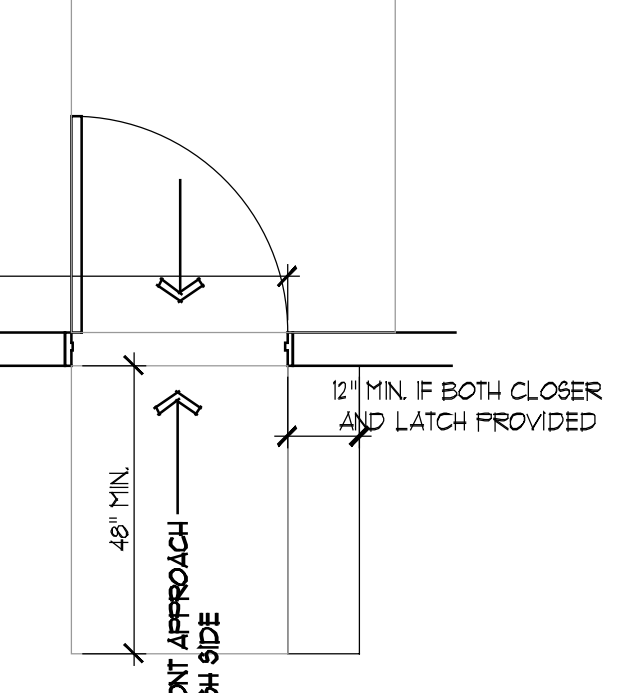
DOORWAY CLEARANCES
NTS



DOOR CLEARANCES
NTS

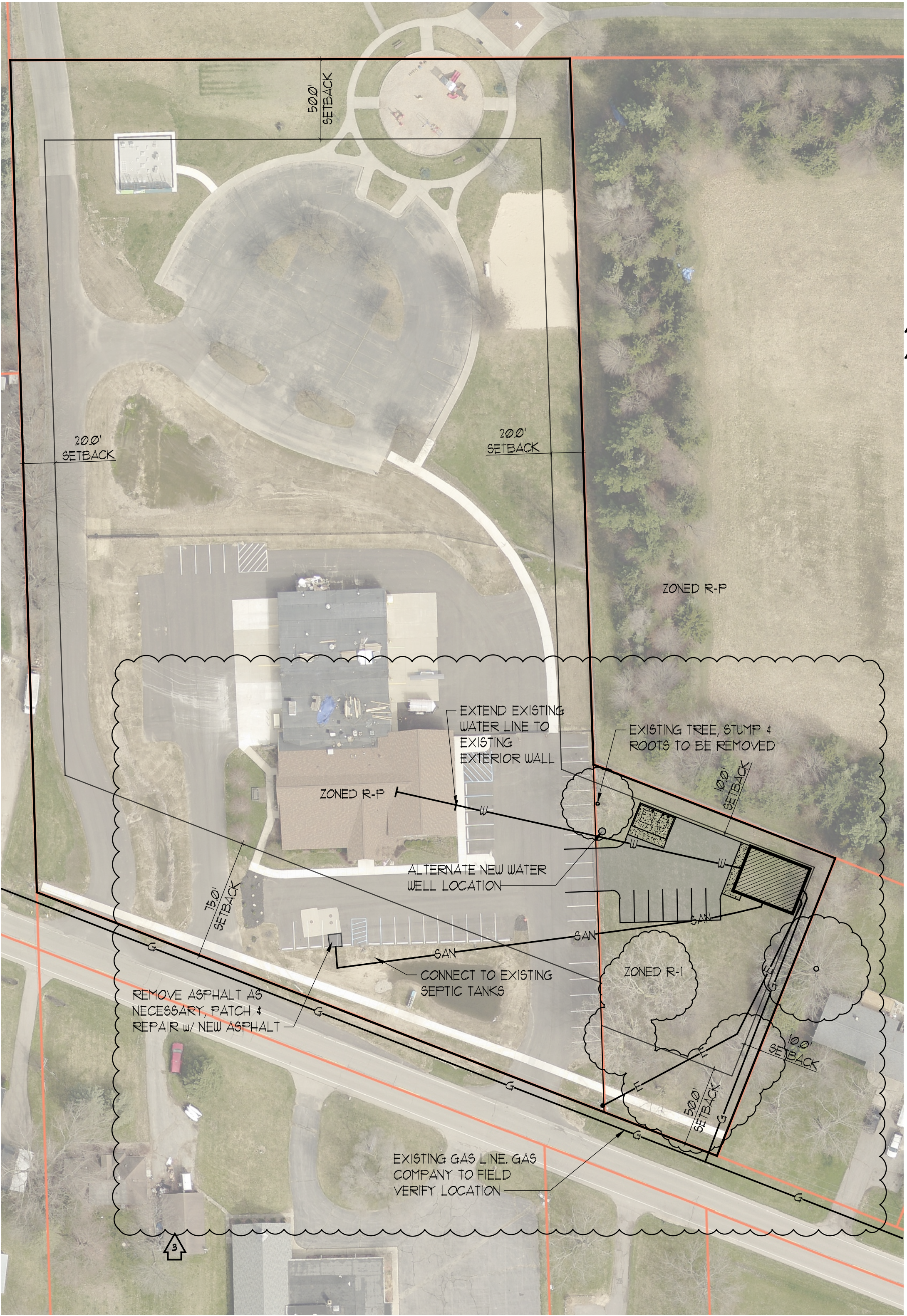


LATCH SIDE APPROACH



FORWARD APPROACH

ALL HARDWARE ON DOORS IN ACCESSIBLE ROUTES, OPERABLE PARTS ON FIXTURES, AND APPLIANCES, SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS MAXIMUM.



OVERALL SITE PLAN
1" = 50'-0"



2 DUMPSTER DETAIL
c/d 1 SCALE: 3/4" = 1'-0"

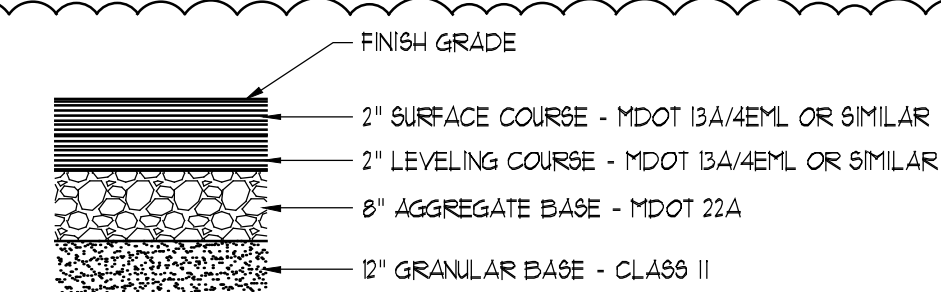


A cross-sectional diagram of a pavement structure. From top to bottom, the layers are:

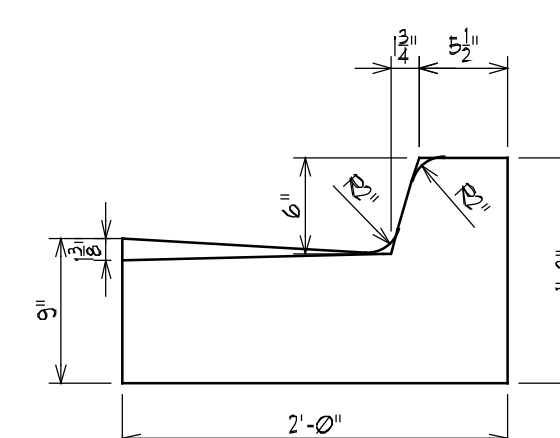
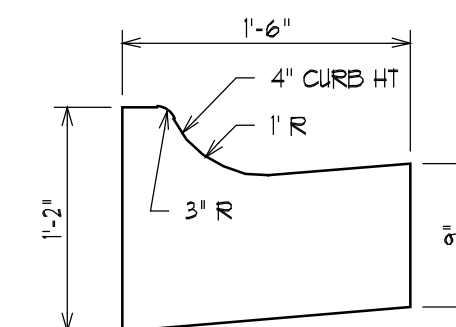

- FINISH GRADE**: The topmost thin layer.
- 6" CONCRETE PAVEMENT**: A layer with a stippled texture.
- 8" 22A AGGREGATE BASE**: A layer with a coarse aggregate texture.
- 12" CLASS II SAND COMPACTED**: The bottom layer with a fine, granular texture.

 Arrows point from the text labels to their respective layers in the diagram.

N.T.S. ON SITE
(TYPICAL OF ENTIRE SITE - EXCEPT FOR DRIVE APPROACHES)



N.T.S.	ON SITE
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$$I'' = I' - \mathcal{O}$$

$$I^u = I^v$$


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Joseph C. ...

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New Building For:
TALLMADGE CHARTER TOWNSHIP

New Building For:

PROJECT NUMBER

25015

SHEET

C1.01

ENLARGED SITE PLAN

DOOR SCHEDULE										
NO.	SIZE	TYPE	DOOR			GLASS	FRAME			KEY NOTES
			MATERIAL	FINISH	PREF		TYPE	MATERIAL	FINISH	
101A	10'-0" x 12'-0"	B	AL	PREF	INSUL			H-M	PT	1, 5
101B	3'-4"x7'-0"x3/4"	A	H-M	PT	INSUL	1		H-M	PT	1, 4
102	3'-0"x7'-0"x3/4"	A	H-M	PT		1		H-M	PT	1, 3
103	3'-0"x7'-0"x3/4"	A	H-M	PT		1		H-M	PT	1, 2

ABBREVIATIONS	KEY NOTES
AL - ALUMINUM ANOD - ANODIZED H-M - HOLLOW METAL INSUL - INSULATED PT - PAINT SCW - SOLID CORE WOOD STL - STEEL WD - HARDWOOD PREF - PREFINISHED	1. ALL DOORS TO RECEIVE HARDWARE WHICH COMPLIES WITH ICC/ANSI A117.1-2009, A.D.A. AND THE 2015 MICHIGAN BUILDING CODE. ROUND KNOBS NOT PERMITTED. 2. PROVIDE PRIVACY LOCKSET. 3. PROVIDE PASSAGE LOCKSET. 4. PROVIDE EMPLOYEE LOCKSET. 5. INSULATED DOOR.

ROOM FINISH SCHEDULE												
NO.	ROOM NAME	FLOOR	BASE	EAST WALL		SOUTH WALL		WEST WALL		NORTH WALL		KEY NOTES
				MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	
101	STORAGE	C5	C5	PLY/O5B	P	PLY/O5B	P	PLY/O5B	P	PLY/O5B	P	
102	STORAGE	C5	C5	PLY/O5B	P	PLY/O5B	P	PLY/O5B	P	PLY/O5B	P	
103	TOILET ROOM	C5	VB	GB	EPT	GB	EPT	GB	EPT	GB	EPT	1
201	MEZZANINE	VCT	VB	PLY/O5B	P	PLY/O5B	P	PLY/O5B	P	PLY/O5B	P	

KEY NOTES

1. PROVIDE 3/16" ALUMINUM TRANSITION STRIP ANGLE AT ALL FLOOR TRANSITIONS BETWEEN SEALED CONCRETE FR LVT AND C.T. AND CERAMIC TILE.

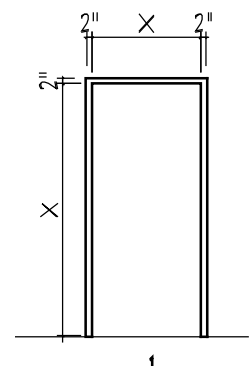
ABBREVIATIONS

ACP - ACOUSTICAL CEILING PANELS CPT - CARPET CT - CERAMIC TILE CMU - CONCRETE MASONRY UNIT C5 - CONCRETE WITH SEALER EC - EXPOSED CONSTRUCTION EM - ENTRY MAT EPT - EPOXY PAINT	MLP - METAL LINER PANELS P - PAINT PF - PREFINISHED FV - CONCRETE PAVERS RF - RESILIENT FLOORING RT - RUBBER TILE VB - VINYL BASE VCT - VINYL COMPOSITION TILE VWC - VINYL WALL COVERING
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FRAME TYPES

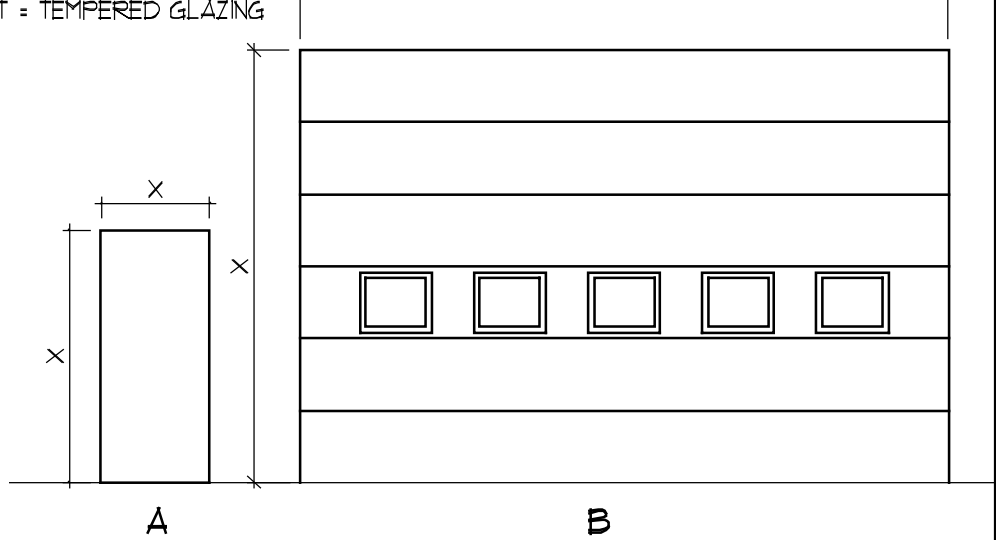
SCALE: 3/16"=1'-0"

X = SEE DOOR SCHEDULE
T = TEMPERED GLAZING



DOOR TYPES

X = SEE DOOR SCHEDULE
T = TEMPERED GLAZING

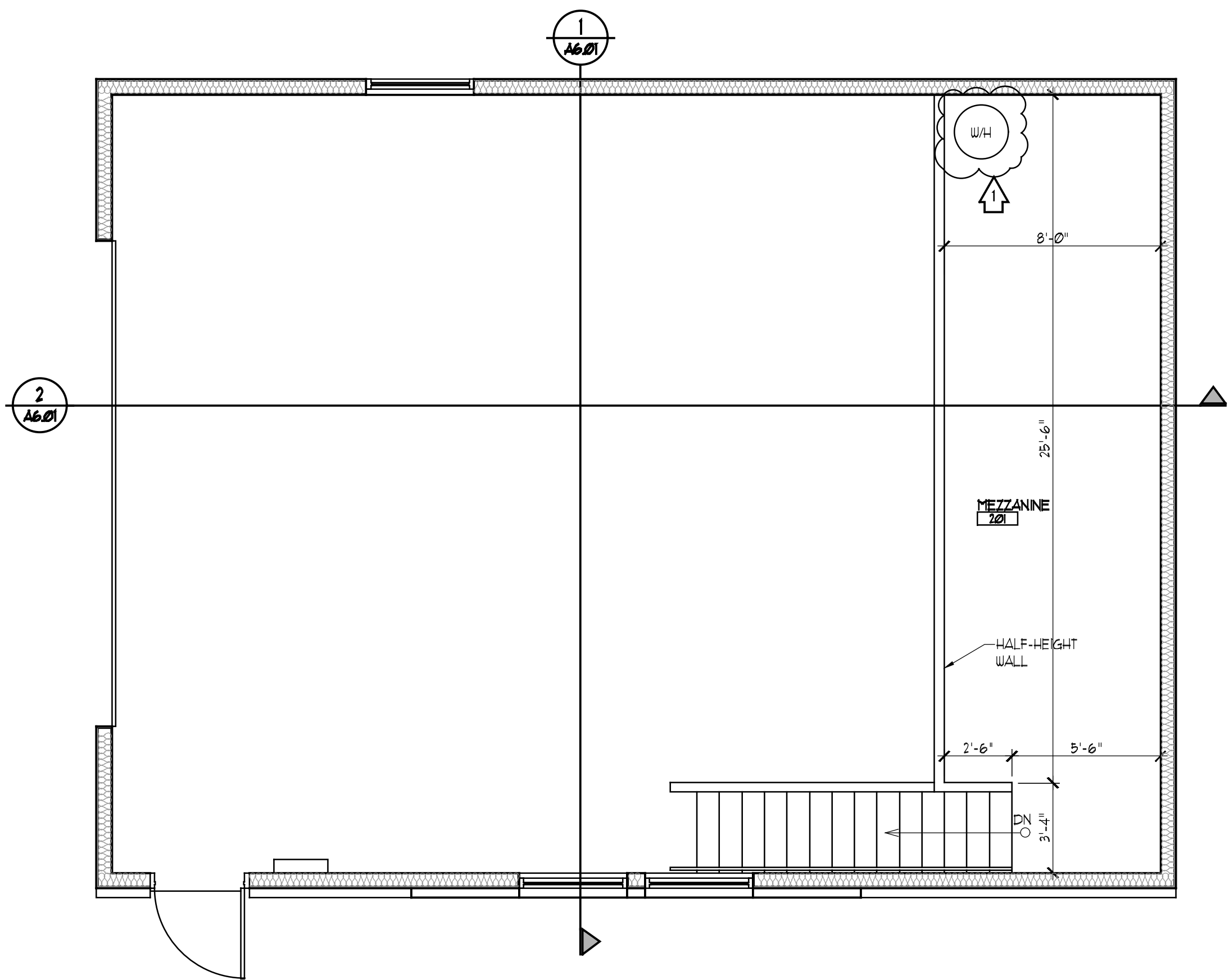


GENERAL PLAN NOTES

1. ALL DOOR CLEARANCES AND HARDWARE SHALL COMPLY WITH ALL APPLICABLE ACCESSIBILITY REQUIREMENTS OF ICC/ANSI A117.1-2009 AND THE MICHIGAN BUILDING CODE.
2. ALL REQUIRED GRAB BARS SHALL HAVE BLOCKING INSTALLED PER MFG. WRITTEN SPECIFICATIONS AT HEIGHTS COMPLIANT WITH ACCESSIBILITY REQUIREMENTS NOTED ON SHEET TS.01
3. NEW FIRE EXTINGUISHERS SHALL BE PROVIDED AT ALL EXITS PER THE 2006 INTERNATIONAL FIRE CODE.

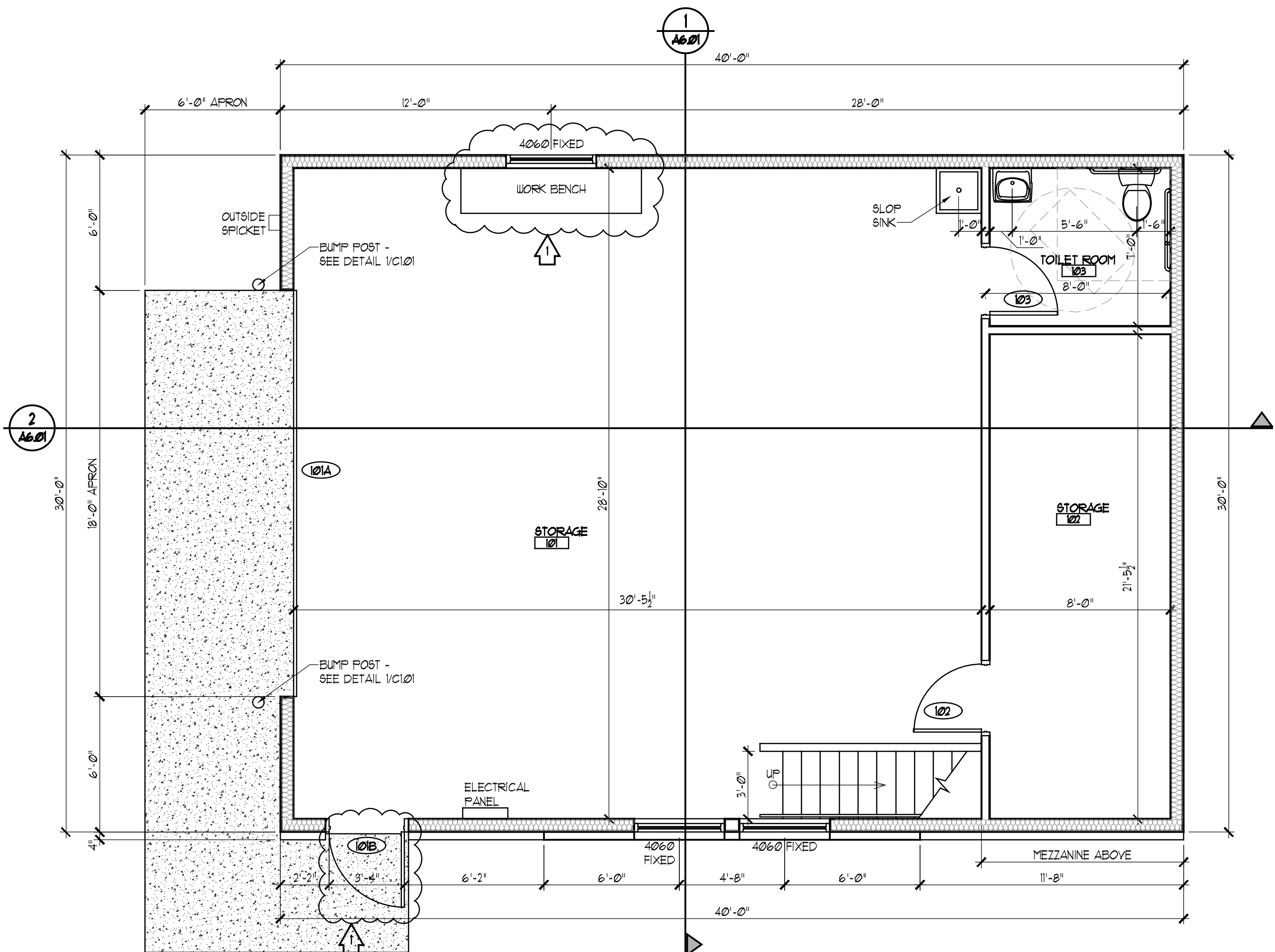
PLUMBING & ELECTRICAL NOTES

1. ALL PLUMBING AND ELECTRICAL TO BE DESIGN/ BUILD PER OWNER FIXTURES ARE SHOWN FOR REFERENCE ONLY.



MEZZANINE FLOOR PLAN

SCALE: 1/4"=1'-0"



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



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Date: 08-11-2025 Issued For: FOR BIDS

Date: 08-21-2025 Issued For: APPENDUM #1

New Building For:
TALLMADGE CHARTER TOWNSHIP
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Grand Rapids, Michigan 49534

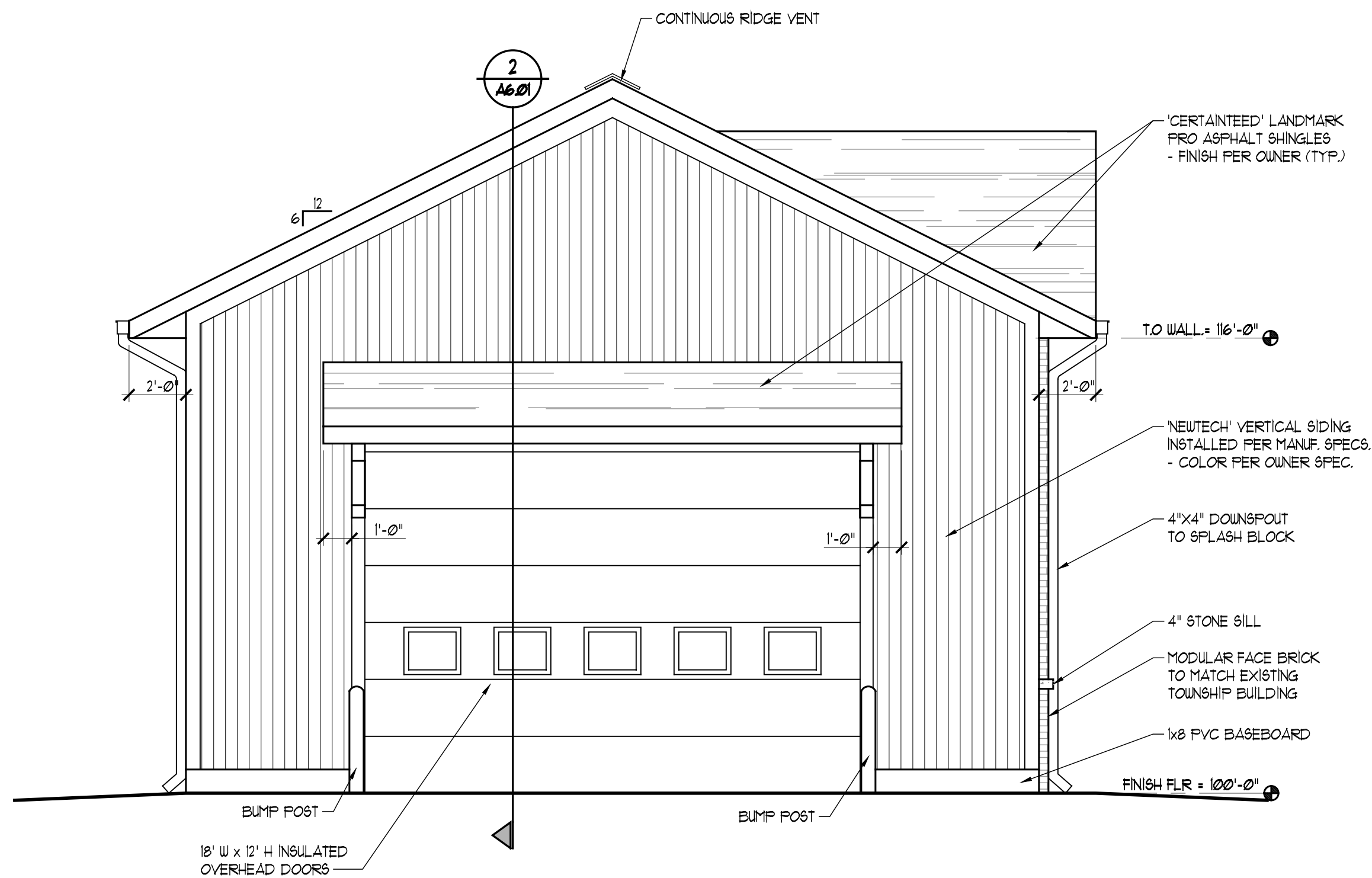
PROJECT NUMBER

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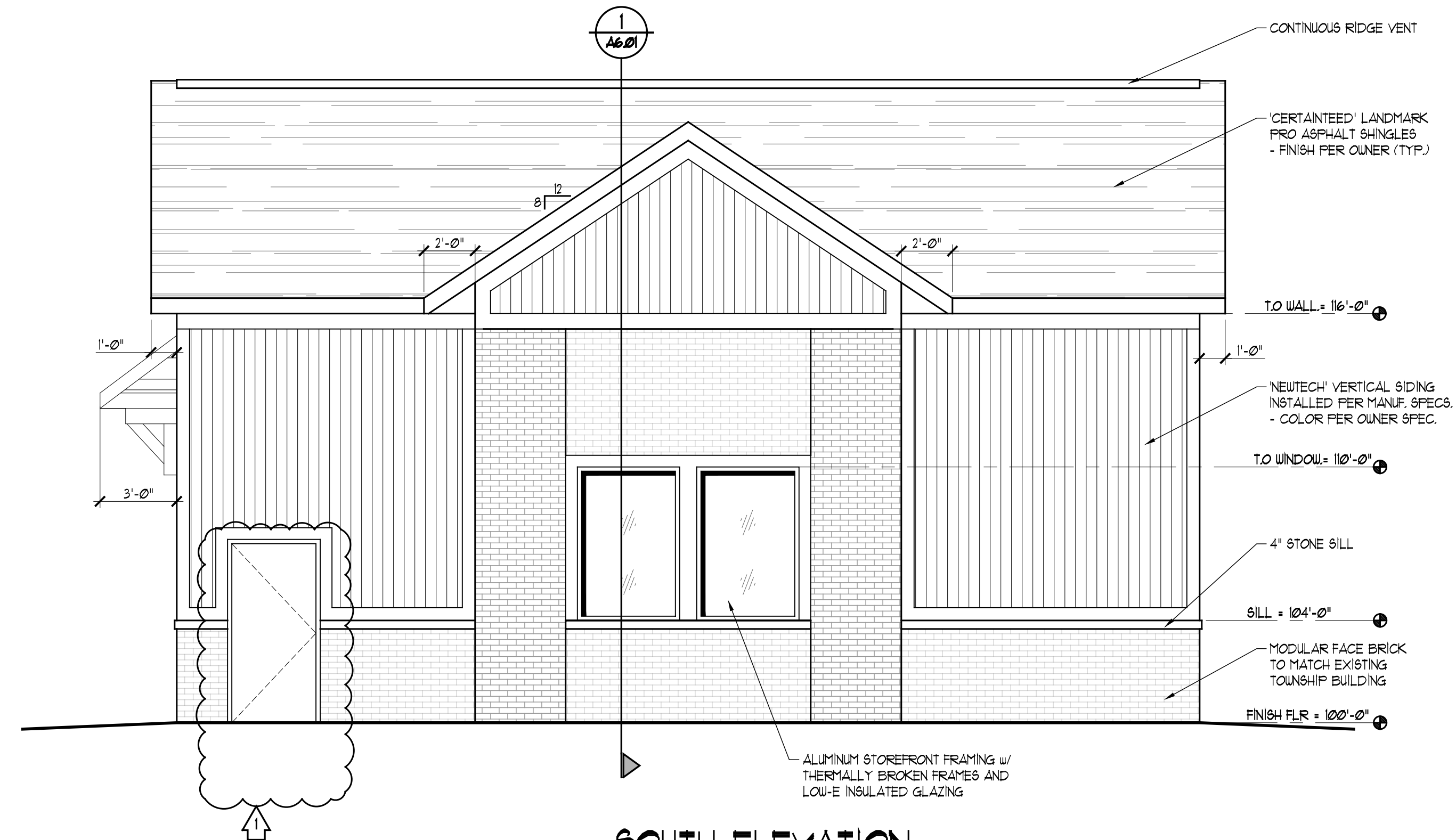
SHEET

A1.01

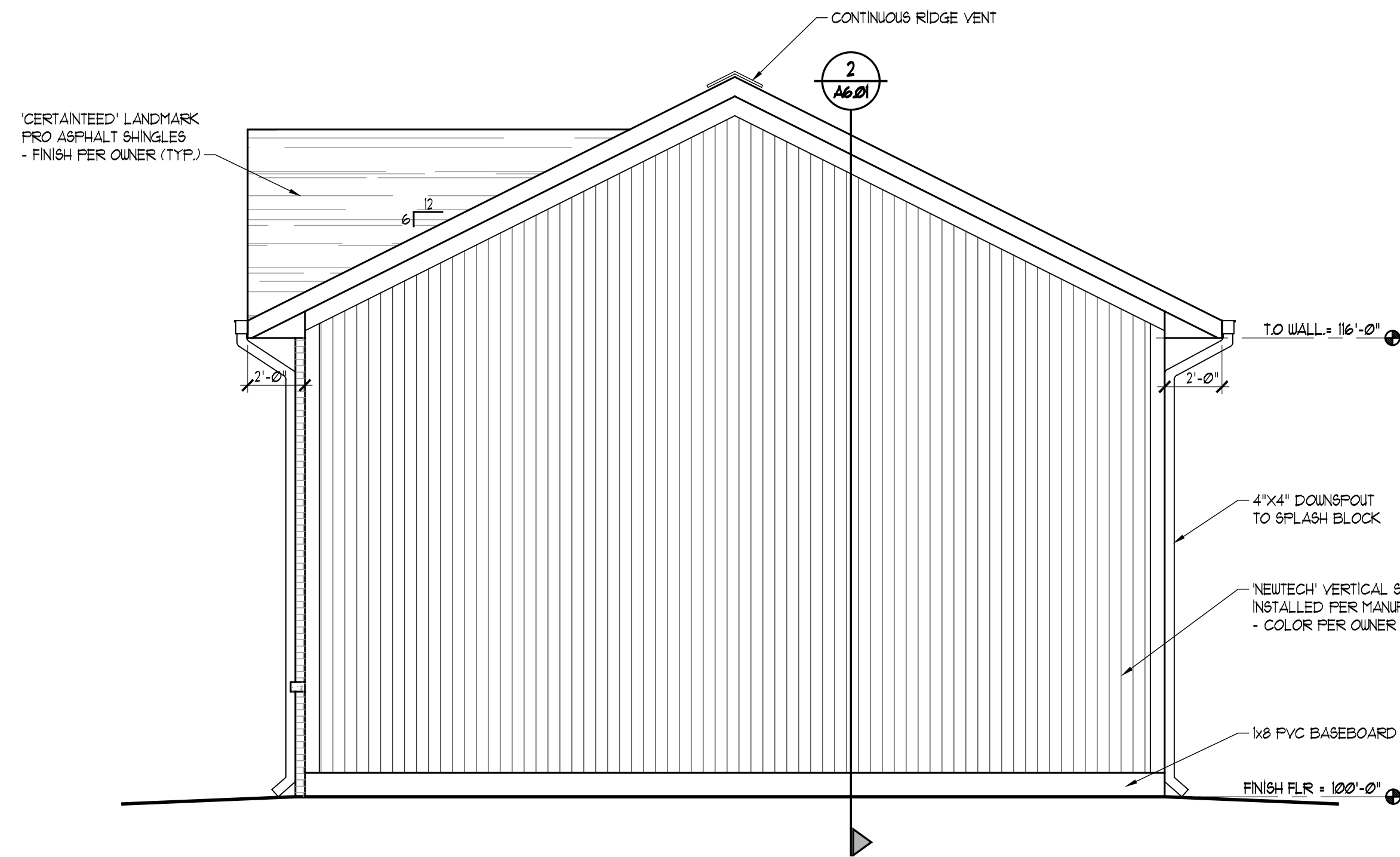
FLOOR PLAN MEZZANINE
FLOOR PLAN DOOR AND
ROOM FINISH SCHEDULES



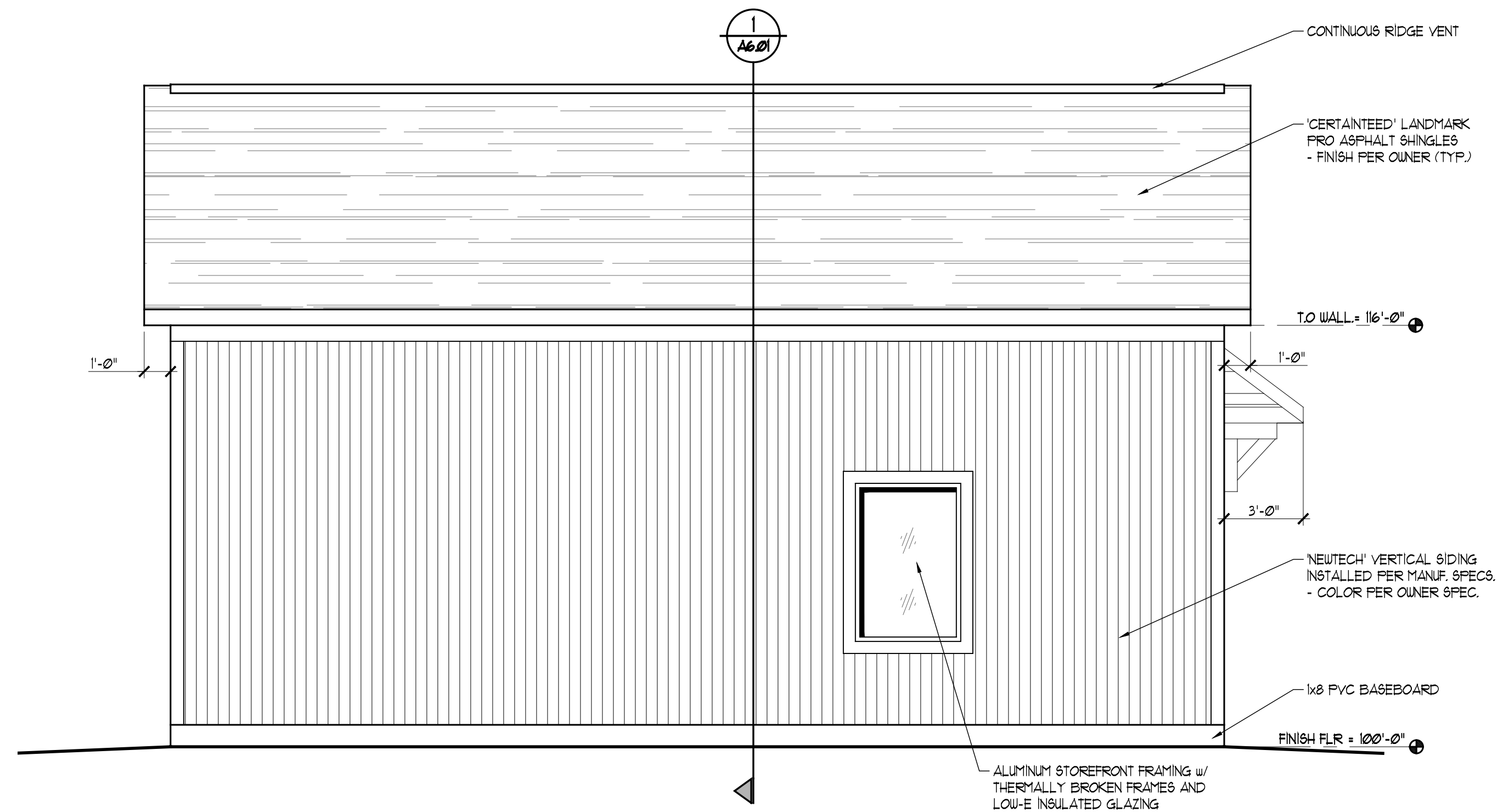
WEST ELEVATION
SCALE: 1/4" = 1'-0"



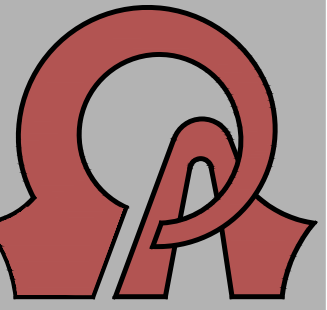
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



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Date: 08-11-2025 Issued For: FOR BIDS
08-21-2025 APPENDUM 1

New Building For:
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SHEET

A4.01

ELEVATIONS