



TALLMADGE CHARTER TOWNSHIP

Ottawa County
O-1451 Leonard Street, Grand Rapids, Michigan, 49534

ZONING MAP OR TEXT AMENDMENT APPLICATION

REQUEST FEE: \$1,500.00

+\$5,000 minimum escrow (Please make separate check)

PROCEDURE:

Name of Applicant: Craig & Lori Hardin

Address of Applicant: 13225 24th Avenue
Marne, Michigan 49435

Email: hardinbunch4@gmail.com Telephone: (616) 485-5213

Property Location: 24th Avenue

Name of Owners: Craig & Lori Hardin

Address of Owners: 13225 24th Avenue Marne, MI 49435

Email: hardinbunch4@gmail.com Telephone: (616) 485-5213

Permanent Parcel Number: 70-10-09-200-013

Legal Description: see attached documents

Parcel Size: 10.03 Current Zoning: Ag Requested Zoning: RP

Point of Contact Name(POC)*: Lori Hardin

*Point of Contact shall be the only person contacted by the township regarding the application

POC Telephone: (616) 485-5213 POC Email: hardinbunch4@gmail.com

I agree to authorize members of the Planning Commission and representatives from the Zoning or Building Department to enter my property in order to review the particulars of my request.

9-9-25

Date

Lori Hardin / Craig Hardin
Applicant's Signature

REQUIRED MATERIALS:

SECTION 22.02. AMENDMENT PETITION PROCEDURE. All petitions for amendment to this Ordinance shall be in writing, signed, and filed in triplicate with the Zoning Administrator for presentation to the Planning Commission. Such petitions shall include the following:

- (b) The nature and effect of the proposed amendment;

Rezone from agricultural-vacant to
rural preserve.

- (c) If the proposed amendment would require a change in the Zoning Map, a fully dimensioned map showing;

1. The land which would be affected by the proposed amendment,
2. A legal description of such land,
3. The present zoning district of the land,
4. The zoning district of all abutting lands and,
5. All public and private rights-of-ways and easements bounding and intersecting the land to be rezoned.

- (d) The alleged error in the ordinance which would be corrected by the proposed amendment, with a detailed explanation of such alleged error and detailed reason why the proposed amendment will correct the same; (if not applicable, indicate "N/A")

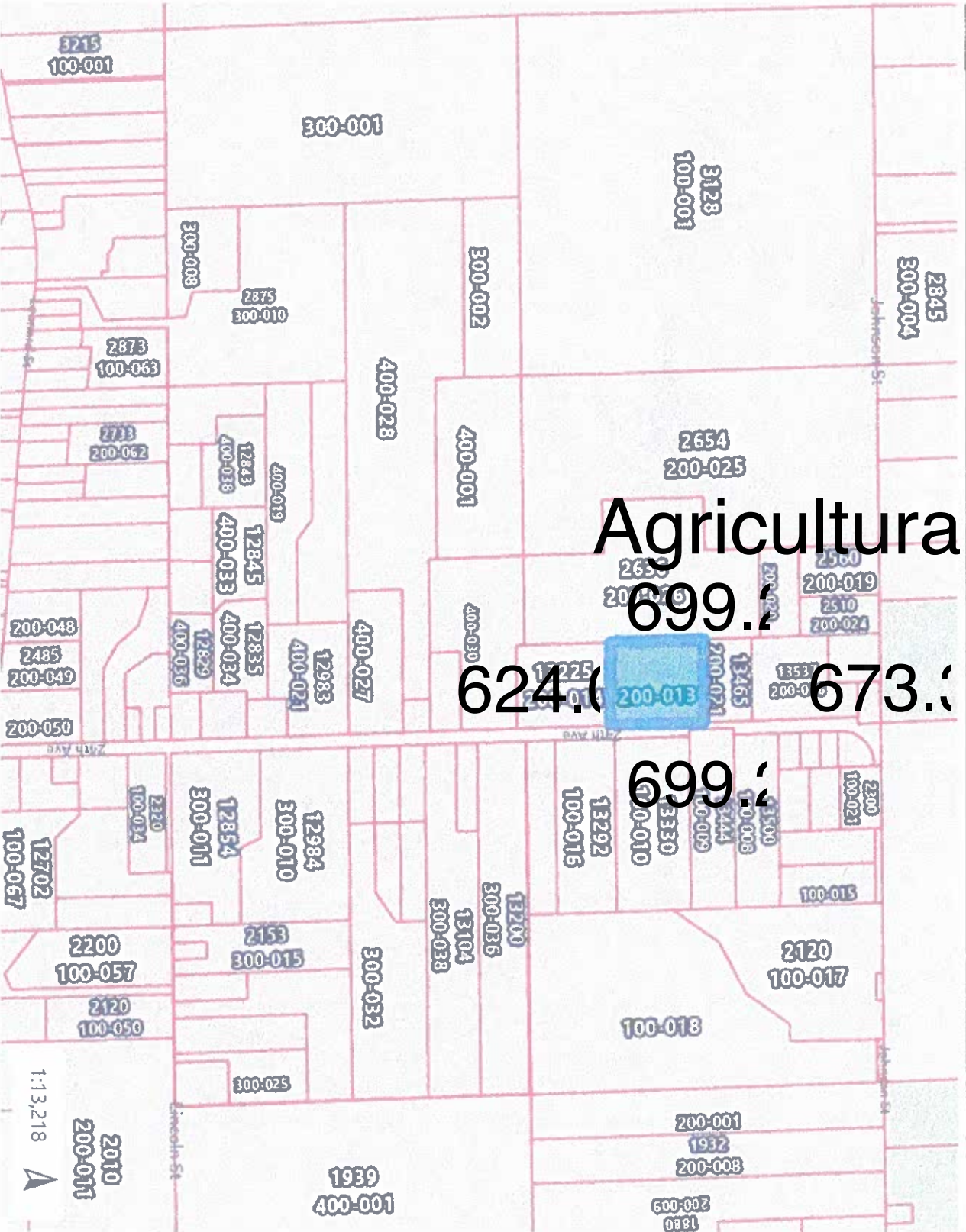
N/A

- * For a text amendment application, provide the exact text being proposed including any deletions from the current text being proposed.

- (e) The changed or changing conditions in the area or in the Township that make the proposed amendment reasonably necessary to the promotion of the public health, safety, and general welfare;

Looking to split land in to two 5
acre parcels

- (f) All other circumstances, factors, and reasons which the petitioner offers in support of the proposed amendment.



Agricultura
699.2
624.0
673.0
699.2

Tax Description

PART OF NE 1/4 COM N 01D 29M 04S W 628.08 FT & S 89D 56M 02S W 50.01 FT FROM E 1/4 COR, TH S 89D 56M 02S W 624.05 FT, N 01D 26M 01S W 699.27 FT, N 89D 56M 02S E 623.43 FT, TH S 1D 29M 04S E 699.28 FT TO POB.
SEC 9 T7N R13W 10.01 A

Johnson St

24th Ave

RP

Subject
Property

RP

AG

AG

09

10