

Tuesday, July 28, 2026

Planning Commission
Tallmadge Charter Township
0-1451 Leonard St NW
Grand Rapids, MI 49534

Formal Request for Change of Condition: LaVista Serene Commercial PUD

To Whom It May Concern:

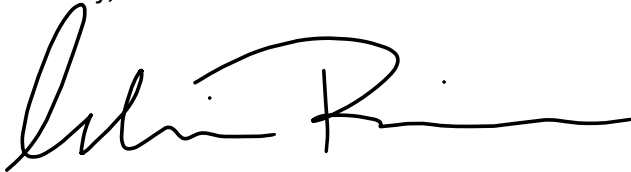
The record of conditions (via the PC) for the Lavista Serene PUD mandates the condition that all exterior surfaces incorporate concealed fasteners. (ref. LaVista Serene PUD Contract Exhibit A. §E.12 “*No exposed fasteners shall be used on any exterior building product. All fasteners shall be concealed*”). In consulting with the Township Planner, it has come to my attention that the Township does possess some flexibility and discretion in the application in mandating the use of exposed vs concealed fasteners for commercial buildings along the Lake Michigan Drive and Ironwood corridors, provided the exposed fasteners are concealed from view along the public right-of-way.

At this time, I, the Developer, am formally requesting a change of condition to the LaVista Serene PUD from the Township Planning Commission for the use of exposed fasteners for all exterior wall products for the Phase 1 Venue Building currently in process for construction. This request is made on the basis that: 1) The south face of the venue

building is 426' (+-) from the northern Lake Michigan Drive right of way, well outside of discernable view; and 2) The north, west, and east faces of the building are more than 500' from any other residential or commercial structure, well outside of discernable view; and 3) There is no public access to the venue building since it is only accessible from the private drive, which will also be gated before final occupancy is obtained; and 4) The Developers cost to meet the design condition of incorporating concealed fasteners is \$170k.

Therefore, I respectfully request that the Planning Commission apply its discretion to consider and amend the PUD's record of conditions to allow the Developer to incorporate the use of exposed fasteners within the design for the PUD's main venue building.

Sincerely,

A handwritten signature in black ink, appearing to read 'Adrian J. Persenaire', with a long horizontal flourish extending to the right.

Adrian J. Persenaire,
Owner/Developer
La Vista Serene PUD

C.c. Tallmadge Township Planning & Zoning Department
Matthew LaRue, Project Manager