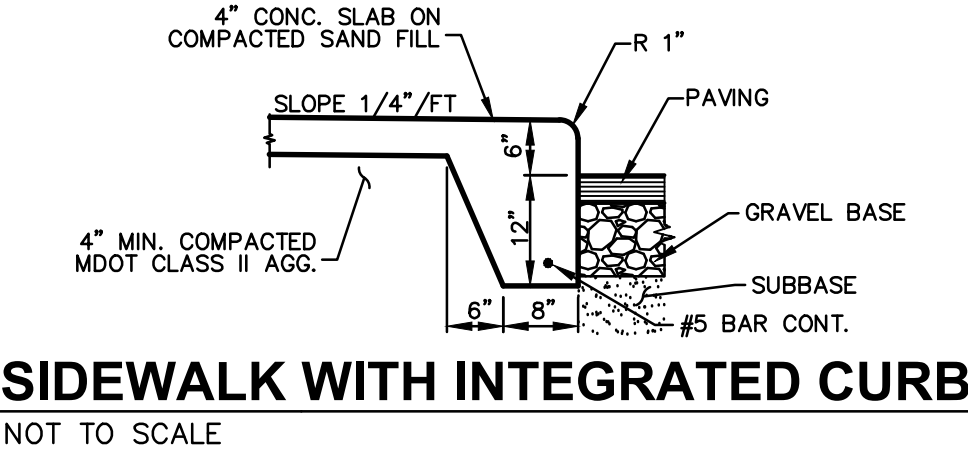
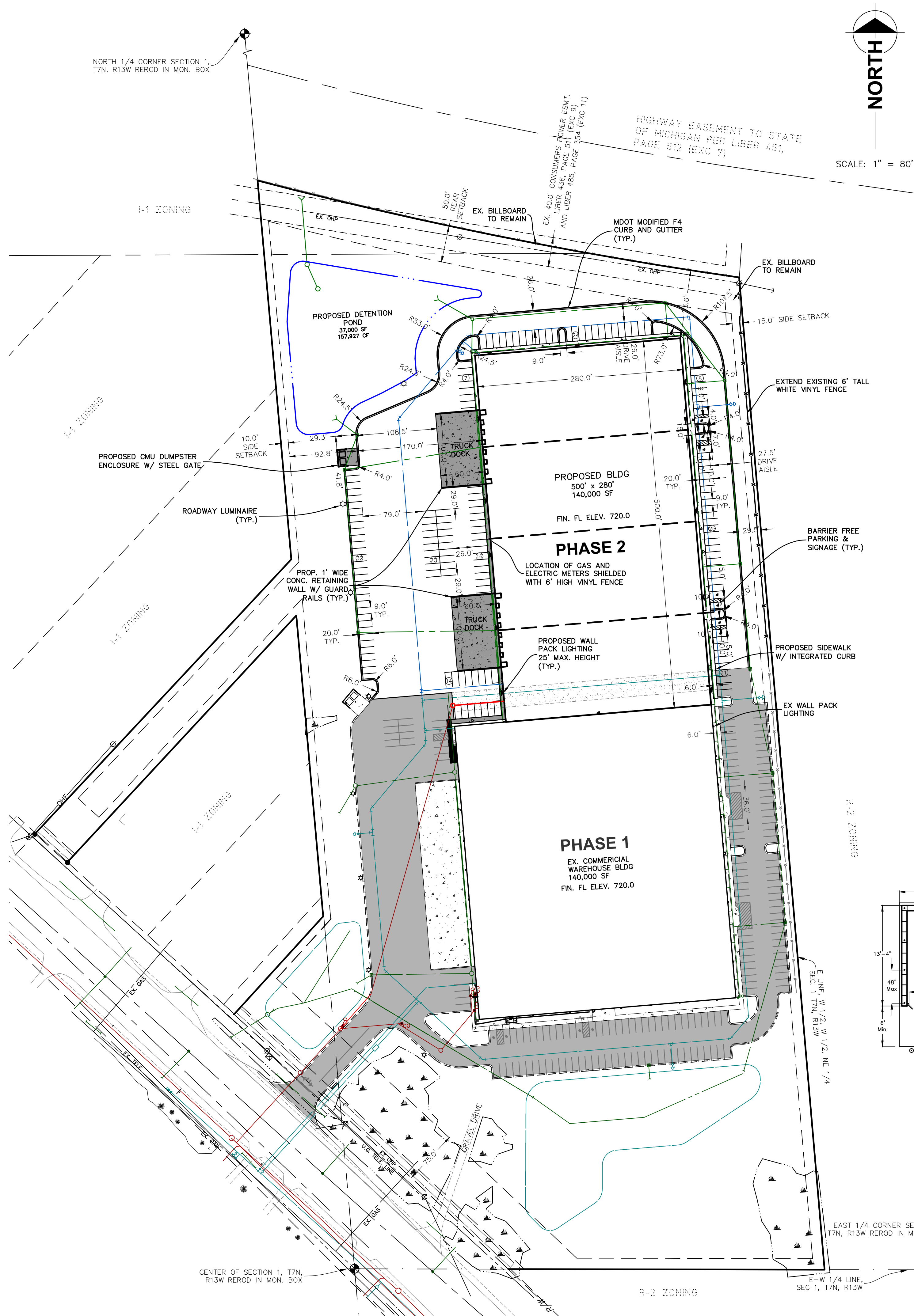
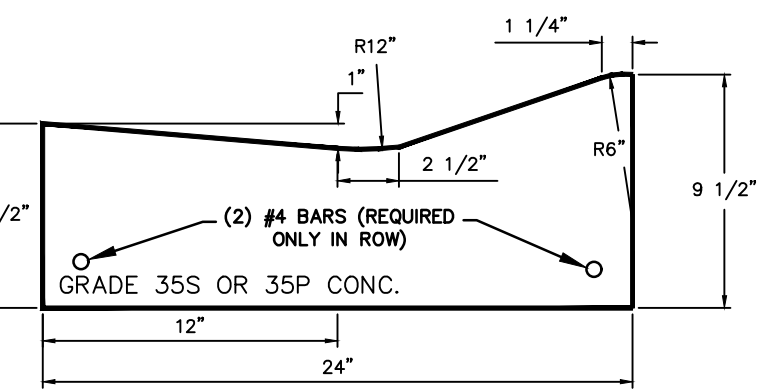
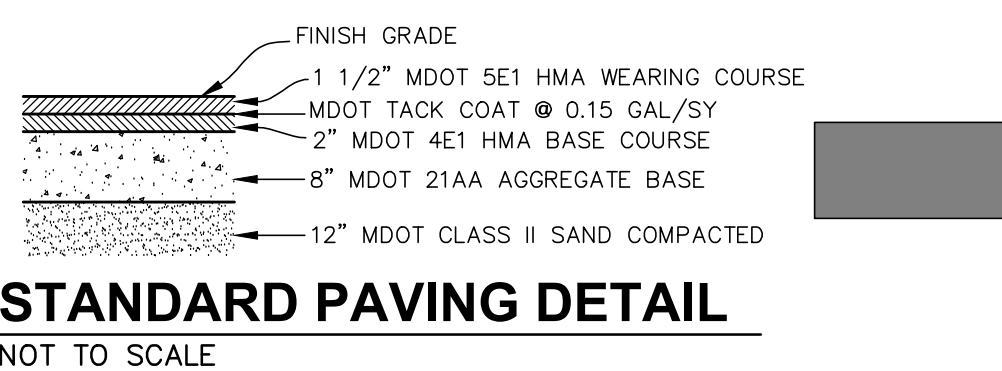
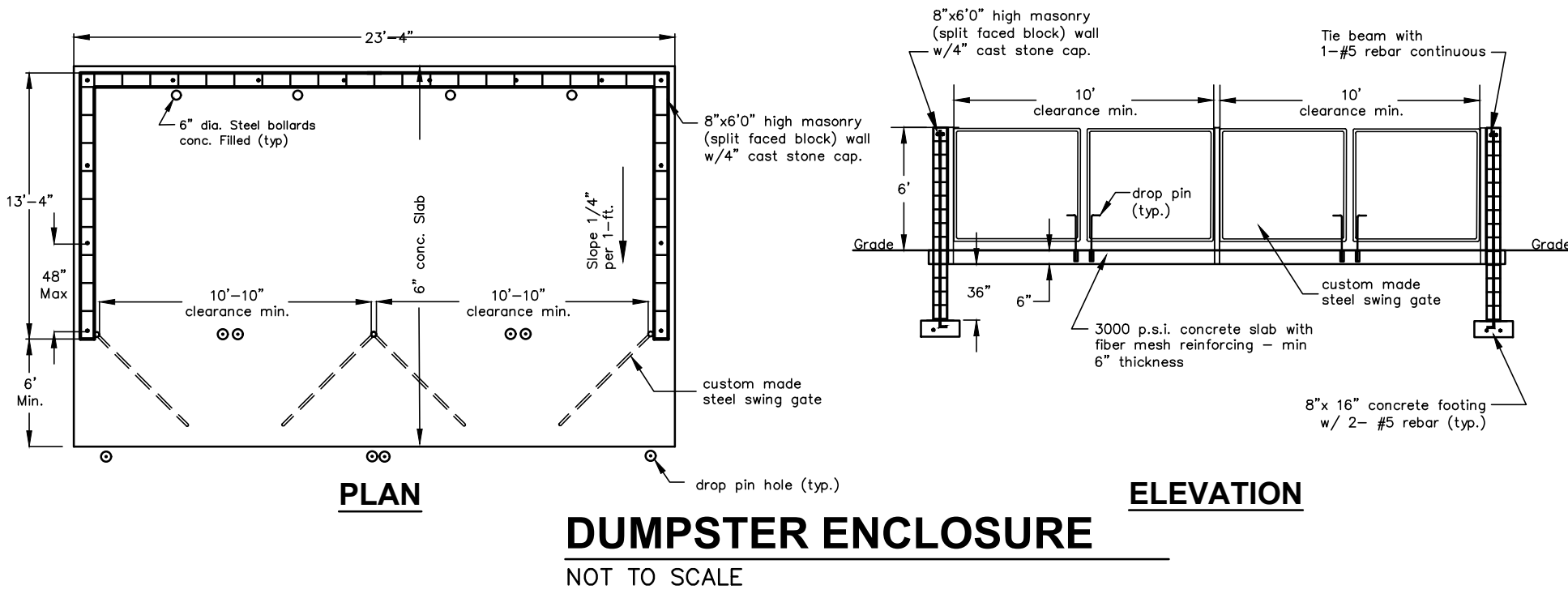




MDOT MODIFIED F-4 CURB & GUTTER
NOT TO SCALE



24" CONCRETE ROLLED CURB DETAIL

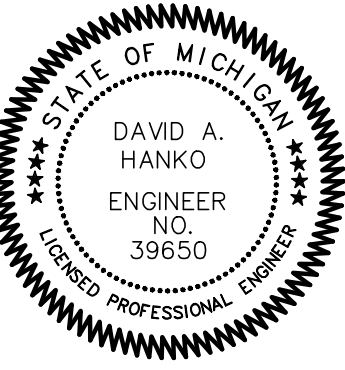


BENCHMARK:
ELEVATION 720.35
Located on hydrant North flange bolt under M in Made, on Phase 1 site, 70 feet East of Northeast corner of Phase 1 building, 725 feet South of US 96.

PROPERTY DESCRIPTION:
PPN# 70-10-01-200-037
13960 Ironwood Drive
Owner: JJB Silverhawk LP
Part of Southeast 1/4 of Northwest 1/4, Sec. 1, T7N, T13W, Township of Tallmadge, Ottawa County, Michigan
Contains 22.06 acres.

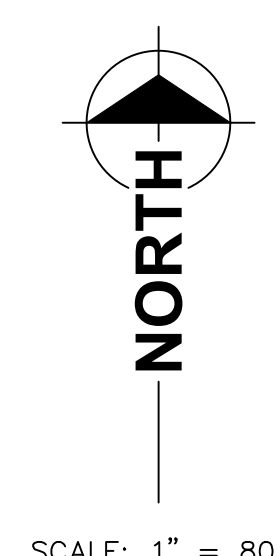
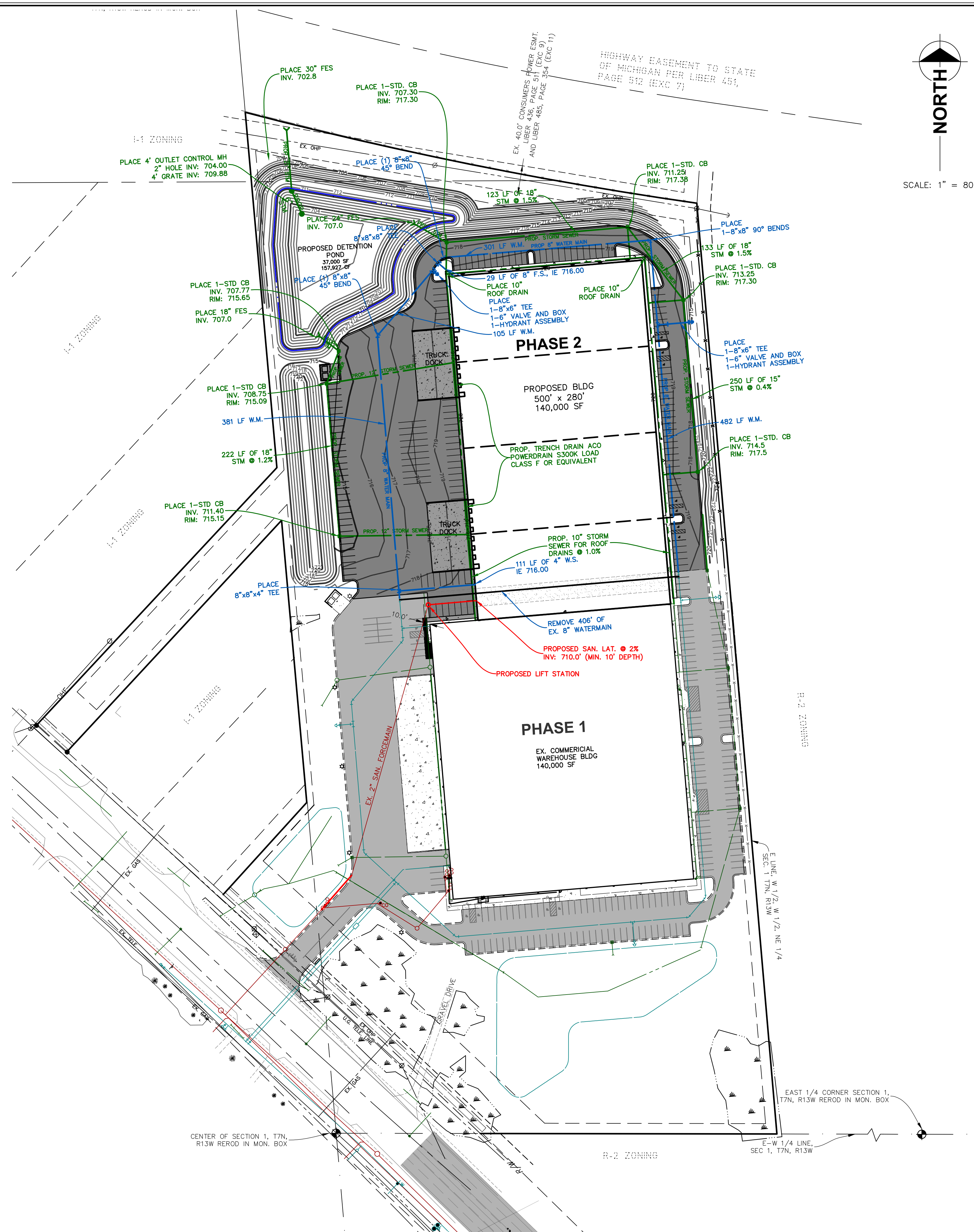
- REQUIREMENTS:**
- PROJECT DESCRIPTION:
PHASE 2 OF A INDUSTRIAL DEVELOPMENT WITH 140,000 SF OF ADDITIONAL FLOOR SPACE FOR 4 POTENTIAL TENANTS. THE BUILDING WILL BE USED FOR WAREHOUSING AND/OR MANUFACTURING SIMILAR TO PHASE 1. IT WILL INCLUDE 2-6,000 SF TRUCK DOCKS, 157 PARKING SPACES, AND STORM SEWER WITH POND. CONNECTIONS TO PUBLIC WATER AND SEWER ARE PROPOSED.
 - ZONING: INDUSTRIAL I-1
SETBACKS:
FRONT YARD: 75 FEET
REAR YARD: 50 FEET
SIDE YARD: 10 FEET ADJ TO I-1 (WEST SIDE)
15 FEET ADJ TO R-2 (EAST SIDE)
 - PARKING REQUIREMENTS:
EXISTING PARKING (PHASE 1):
PHASE 1 REQUIRED PARKING = 135 SPACES
PHASE 1 PROVIDED PARKING = 163 SPACES
28 ADDITIONAL SPACES AVAILABLE
PROPOSED PARKING (PHASE 2)
5 SPACES PER UNIT + 1 SPACE PER EMPLOYEE
4 UNITS x 5 + 100 EMPLOYEES x 1 = 120 SPACES REQUIRED
PROPOSED PARKING = 157 SPACES (7 ADA SPACES)
TOTAL AVAILABLE PARKING = 320 SPACES
 - LIGHTING WILL BE PROVIDED WITH WALL PACKS ON BUILDING AND LIGHT POLES AT A 25' MAXIMUM HEIGHT.
 - SIGN: NO ADDITIONAL SIGN IS PROPOSED
 - DUMPSTER: AN ADDITIONAL DUMPSTER WILL BE CONSTRUCTED
 - NO OUTDOOR STORAGE IS PROPOSED
 - NO ABOVE OR BELOW GROUND STORAGE FACILITIES FOR ANY CHEMICALS, SALTS, FLAMMABLE MATERIALS, OR HAZARDOUS MATERIALS ARE PROPOSED.

- GENERAL NOTES:**
- All utilities shown are approximate locations derived from actual measurements and available records. They should not be interpreted to be the exact locations nor should it be assumed that they are the only utilities in the area.
 - All work shall comply with applicable requirements or the local code, ordinances and accident/fire prevention regulations.
 - Remove all demolition materials and debris from the site and dispose of properly offsite.
 - Do not bury any debris, roots, topsoil or other materials.
 - Adequately protect the site, adjoining property, and utility services.
 - Contractor shall field verify all utilities prior to commencing work on new utility connections.
 - Install all utilities in accordance with local specifications and requirements.
 - Contractor shall be responsible for obtaining necessary permits for work in right-of-way and on any utility connections or abandonments.
 - Damage to existing utilities by the contractor shall be repaired at the contractor's expense.



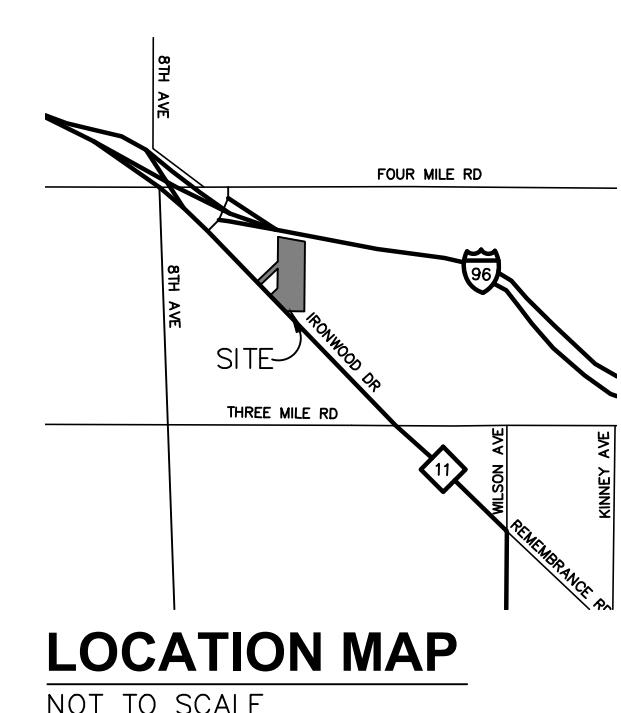
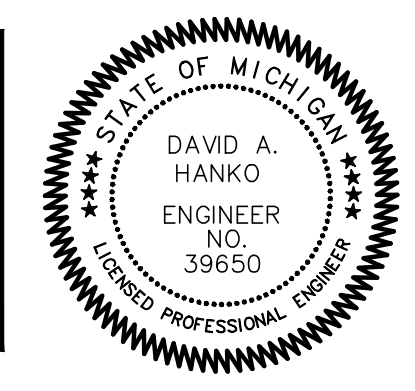
LEGEND	
T	TOWN
R	RANGE
N	NORTH
S	SOUTH
E	EAST
W	WEST
SEC.	SECTION
POB	POINT OF BEGINNING
PROPOSED BLACKTOP	
PROPOSED CONCRETE	
EXISTING BLACKTOP	
EXISTING CONCRETE	
BUILDING	
SECTION CORNER	
SET CAPPED IRON	
FOUND IRON OR NAIL	
STORM SEWER MANHOLE	
SANITARY SEWER MANHOLE	
CATCH BASIN	
HYDRANT	
VALVE	
UTILITY POLE	
GUY WIRE	
LIGHT POLE	
WALL MOUNTED LIGHT	
PEDESTAL	
TRANSFORMER	
SIGN	

SITE PLAN
13960 IRONWOOD DRIVE - PHASE 2
FOR: PATRICK FATE
VISSER BROTHERS
1946 TURNER AVE NW
GRAND RAPIDS, 49504
PHONE: 616-437-0848
PART OF THE NORTHWEST 1/4, SECTION 1, T07N, R13W, TALLMADGE TOWNSHIP, OTTAWA COUNTY, MICHIGAN
Feenstra & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS
3145 Prairie St SW Phone: 616.437.7050
Grandville, MI 49418 www.feenstrainsc.com
C2
DATE: 9/1/2026



BENCHMARK:
ELEVATION 720.35
Located on hydrant North flange bolt under M in Made, on Phase 1 site, 70 feet East of Northeast corner of Phase 1 building, 725 feet South of US 96.

- GENERAL NOTES:**
1. All utilities shown are approximate locations derived from actual measurements and available records. They should not be interpreted to be the exact locations nor should it be assumed that they are the only utilities in the area.
 2. All work shall comply with applicable requirements or the local code, ordinances and accident/fire preventions regulations.
 3. Remove all demolition materials and debris from the site and dispose of properly offsite.
 4. Do not bury any debris, roots, topsoil or other materials.
 5. Adequately protect the site, adjoining property, and utility services.
 6. Contractor shall field verify all utilities prior to commencing work on new utility connections.
 7. Install all utilities in accordance with local specifications and requirements.
 8. Contractor shall be responsible for obtaining necessary permits for work in right-of-way and on any utility connections or abandonments.
 9. Damage to existing utilities by the contractor shall be repaired at the contractor's expense.



LEGEND	
T	TOWN
R	RANGE
N	NORTH
S	SOUTH
E	EAST
W	WEST
SEC.	SECTION
POB	POINT OF BEGINNING
	PROPOSED BLACKTOP
	PROPOSED CONCRETE
	EXISTING BLACKTOP
	EXISTING CONCRETE
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	CATCH BASIN
	HYDRANT
	VALVE
	UTILITY POLE
	GUY WIRE
	LIGHT POLE
	WALL MOUNTED LIGHT
	PEDESTAL
	TRANSFORMER
	SIGN

UTILITY PLAN

13960 IRONWOOD DRIVE - PHASE 2

FOR: PATRICK FATE
VISSER BROTHERS
1946 TURNER AVE NW
GRAND RAPIDS, 49504
PHONE: 616-437-0848

PART OF THE NORTHWEST 1/4, SECTION 1, T07N, R13W,
TALLMADGE TOWNSHIP, OTTAWA COUNTY, MICHIGAN

Feenstra & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS
3145 Praine St SW
Grandville, MI 49418
Phone: 616.457.7050
www.feenstrainsc.com

C3

DATE: 9/1/2026

As shown, this plan was prepared by the undersigned on 9/1/2026. It is based on information furnished to the undersigned by the client and is not to be used for any other purpose without the written consent of the undersigned.



LANDSCAPING LEGEND:

Planting Note (species/quantity)

Grass Seeding Mix

Deciduous Shade Trees

- 6 QM Quercus macrocarpa / Burr oak
- 4 TA Tilia Cordata / Little leaf linden

Evergreen Trees

- 18 PS Pinus strobus / White Pine
- 6 TD Taxodium distichum / Bald Cypress
- 8 TO Thuja Occidentalis / Thin Man Arborvitae
- 8 IC Ilex Crenata / Sky Pencil Japanese Holly

Medium Trees

- 4 CA4 Carpinus caroliniana / American Hornbeam

Shrubs

- 12 CG Cornus racemosa / Gray dogwood
- 6 HA3 Hamamelis x intermedia / Witch Hazel
- 6 VL Viburnum lentago / Nannyberry
- 12 FG Festuca Glauca / Blue Fescue
- 8 SA Spiraea alba / Meadowsweet
- 8 HC Hemerocallis / Daylilies

SHRUB TO BEAR SAME RELATIONSHIP TO FINISH GRADE AS BEFORE TRANSPLANTING.

3" MULCH
3" MAINTENANCE EDGE OR 3" ALUMINUM EDGING

EXPOSE ROOT FLARE OR FIRST LAYER OF ROOTS PRIOR TO PLANTING.

PLANTING MIX.
1 PART TOP SOIL
1 PART PEAT
1 PART EXISTING SOIL

SHRUB PLANTING DETAIL

NOT TO SCALE

LANDSCAPING NOTES:

1. All landscaping to be installed by a qualified Landscape Contractor.
2. All plantings shall be mulched with 3" shredded hardwood bark mulch.
3. Trees and shrubs shall be planted with a plant mix consisting of 1 part topsoil, 1 part peat, and 1 part existing soil.
4. Lawn areas shall receive 4" topsoil and seed.
5. Lawn and planting areas shall be irrigated.
6. Maintenance of the landscape shall be provided for by the owner and include: watering, fertilizing of lawn and plants, yearly pruning, and top dressing of mulch areas every other year.
7. Plant material shall be chosen and installed in accordance with standards recommended by the County Cooperative Extension Service or American Nursery Association.

BENCHMARK:

ELEVATION 720.35
Located on hydrant North flange bolt under M in Made, on Phase 1 site, 70 feet East of Northeast corner of Phase 1 building, 725 feet South of US 96.

LANDSCAPE REQUIREMENTS:

FRONTAGE REQUIREMENTS:

1 TREE + 2 SHRUBS PER 40 LF, 1 ORNAMENTAL PER 100 FEET

RESIDENTIAL SCREEN:

6' FENCE
6' BERM WITH OBSCURING GREENBELT
OBSCURING GREENBELT (COMPLETE HORIZONTAL OBSCURING WITHIN 3 YEARS)

PROPOSED LANDSCAPING:

DECIDUOUS CANOPY TREES: 10 TREES

EVERGREEN TREES: 24 TREES

MEDIUM SIZED TREES: 4 TREES

SHRUBS: 52 PLANTS

WRAP TREES TALLER THAN 8FT. W/ STD. 2 PLY PAPER TREE WRAP.
3"x3" CEDAR STAKES
STAKE SECURELY INTO SOIL
GROUND BELOW TREE PIT.

3" MULCH
3" MAINTENANCE EDGE OR 3" ALUMINUM EDGING

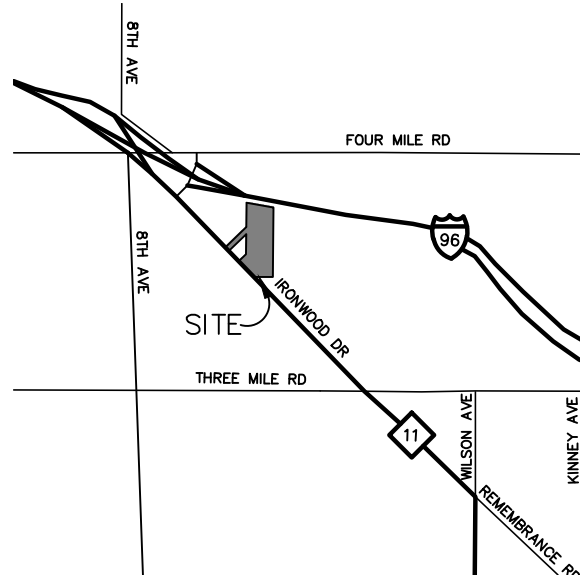
NOTE:
TREES SHALL BEAR RELATIONSHIP TO FIN. GRADE AS BEFORE TRANSPLANTING. REMOVE BURLAP FROM AROUND TOP 1/3 OF BALL.

PLANTING MIXTURE:
1 PART TOP SOIL
1 PART PEAT
1 PART EXISTING SOIL

FERTILIZE W/ 10-6-4 @ 2LBS. PER INCH OF CAL. THOROUGHLY SOAK W/ WATER AFTER PLANTING.

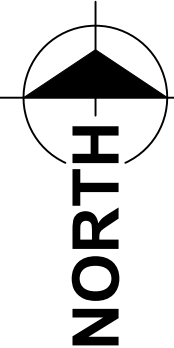
DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE



LOCATION MAP

NOT TO SCALE



SCALE: 1" = 50'

LEGEND	
T	TOWN
R	RANGE
N	NORTH
S	SOUTH
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LANDSCAPING PLAN
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C5

DATE: 9/11/2026